

**SITE DATA:**

TOTAL AREA	131.0 +/- AC
RESERVED PARCEL	10.0 +/- AC
NET AREA	121.0 +/- AC
TOTAL SINGLE FAMILY LOTS (10,000 SF MIN. LOTS)	221
TOTAL MULTI-FAMILY UNITS	264
TOTAL UNITS	485
OPEN SPACE REQUIRED	12.1 +/- AC
OPEN SPACE PROVIDED	22.2 +/- AC
STORMWATER MANAGEMENT	7.0 +/- AC (6%)



**HIGHWAY 78 SITE - SANFORD, NC**

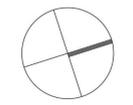
Conceptual Development Plan - April 27, 2020

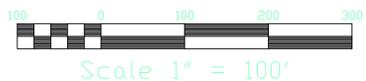
SCALE 1"=100'



**SITE DATA:**

TOTAL AREA	131.0 +/- AC
RESERVED PARCEL	10.0 +/- AC
NET AREA	121.0 +/- AC
TOTAL SINGLE FAMILY LOTS (10,000 SF MIN. LOTS)	264
OPEN SPACE REQUIRED	12.1 +/- AC
OPEN SPACE PROVIDED	22.7 +/- AC
STORMWATER MANAGEMENT	5.9 +/- AC (5%)





\* PROPERTY IS LOCATED IN THE CITY OF SANFORD'S ET.J.

DEED BOOK 580 PAGE 173 GOES TO THE CENTERLINE OF CARTHAGE STREET AND TYNDALL DRIVE. THERE IS 1.01 ACRES IN THE RIGHT OF WAY OF CARTHAGE ST AND TYNDALL DRIVE.

TYNDALL DRIVE SR 1236 IS A NCDOT MAINTAINED STREET. THE DEDICATED PORTION ENDS AT MEADWROOK DRIVE.

7.19 Acres  
JAMES O. BRANTLEY  
DB 580 PG 173

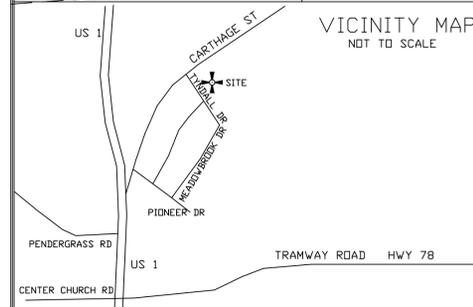
REVISIONS	
Date	By

PRELIMINARY PLAT FOR:  
CARTHAGE SQUARE  
PHASE 2  
lots 16 - 25

STOKES  
SURVEYING AND MAPPING, PLLC  
CERTIFICATE # P-1004  
MICHAEL STOKES  
1425-105B ROCK QUARRY RD  
RALEIGH, NC 27610

Design By:  
Drawn By:  
Check By:  
Date:  
Dwg No.  
Job No.  
Scale:

Sheet  
DF  
Seal



PRELIMINARY PLAT FOR:		OWNER
CARTHAGE SQUARE		RACCOON PATH HOLDINGS, LLC
PHASE 2 LOTS 16-25		
TOWNSHIP:	DATE:	SEAL:
WEST SANFORD	APRIL 29, 2020	
COUNTY:	SCALE:	
LEE	1" = 100'	
STATE:	PARCEL #	
NORTH CAROLINA	9631-77-7606-00	
LEGEND		DATE: REVISIONS:
STOKES SURVEYING AND MAPPING, PLLC		
CERTIFICATE # P-		
MICHAEL STOKES		
1425-105B ROCK QUARRY RD.		
RALEIGH, NC 27610		919- 971-7897

I, MICHAEL STOKES, REGISTERED LAND SURVEYOR NO. L-4996, CERTIFY TO ONE OR MORE OF THE FOLLOWING AS INDICATED WITH A "X":

A THAT THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

B THAT THIS PLAT IS OF A SURVEY THAT IS LOCATED IN SUCH PORTION OF A COUNTY OR MUNICIPALITY THAT IS UNREGULATED AS TO AN ORDINANCE THAT REGULATES PARCELS OF LAND.

C THAT THIS PLAT IS OF A SURVEY OF AN EXISTING PARCEL OR PARCELS OF LAND.

D THAT THIS PLAT IS OF A SURVEY OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

E THAT THE INFORMATION AVAILABLE TO THIS SURVEYOR IS SUCH THAT I AM UNABLE TO MAKE A DETERMINATION TO THE BEST OF MY PROFESSIONAL ABILITY AS TO PROVISIONS CONTAINED IN (A) THROUGH (C) ABOVE.

I FURTHER CERTIFY THAT THIS PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FIRM FLOOD INSURANCE RATE MAPS.

Project # \_\_\_\_\_ Drawing # \_\_\_\_\_

I, MICHAEL STOKES, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 7TH DAY OF APRIL, 2020.

REGISTERED LAND SURVEYOR  
REGISTRATION NO. L-4996

S.I.P. Set Iron Pipe  
F.I.P. Found Iron Pipe  
F.C.M. Found Concrete Monument  
F.P.K. Found P.K. Nail  
F.R.R. Found Railroad Spike  
R.W. Right of Way  
O.H.P. Overhead Power

EMH Existing Manhole  
PMH Proposed Manhole  
C.P. Calculated Point  
P.P. Power Pole  
C.L. Centerline  
M.H. Manhole

SHIRLEY B. WALL  
DB 1066 PG 885

SHIRLEY B. WALL  
DB 1066 PG 885

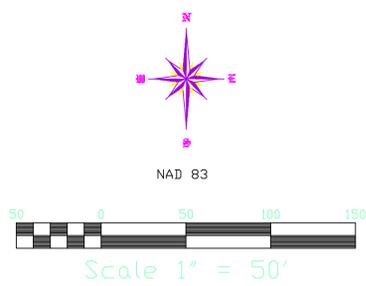
SHIRLEY B. WALL  
DB 1066 PG 885

SITE DATA

ZONING R-12 ETJ CITY OF SANFORD  
MINIMUM LOT SIZE 12,000 SQ FT  
MINIMUM ROAD FRONTAGE 100'  
PUBLIC WATER  
SEWER - PRIVATE SEPTIC  
TOTAL ACREAGE IN SITE IS 7.19 ACS

SETBACKS  
FRONT 30'  
REAR 20'  
SIDES 12'

LOT 10 IS SERVICED BY A 30' EASEMENT FROM MEADWROOK STREET.



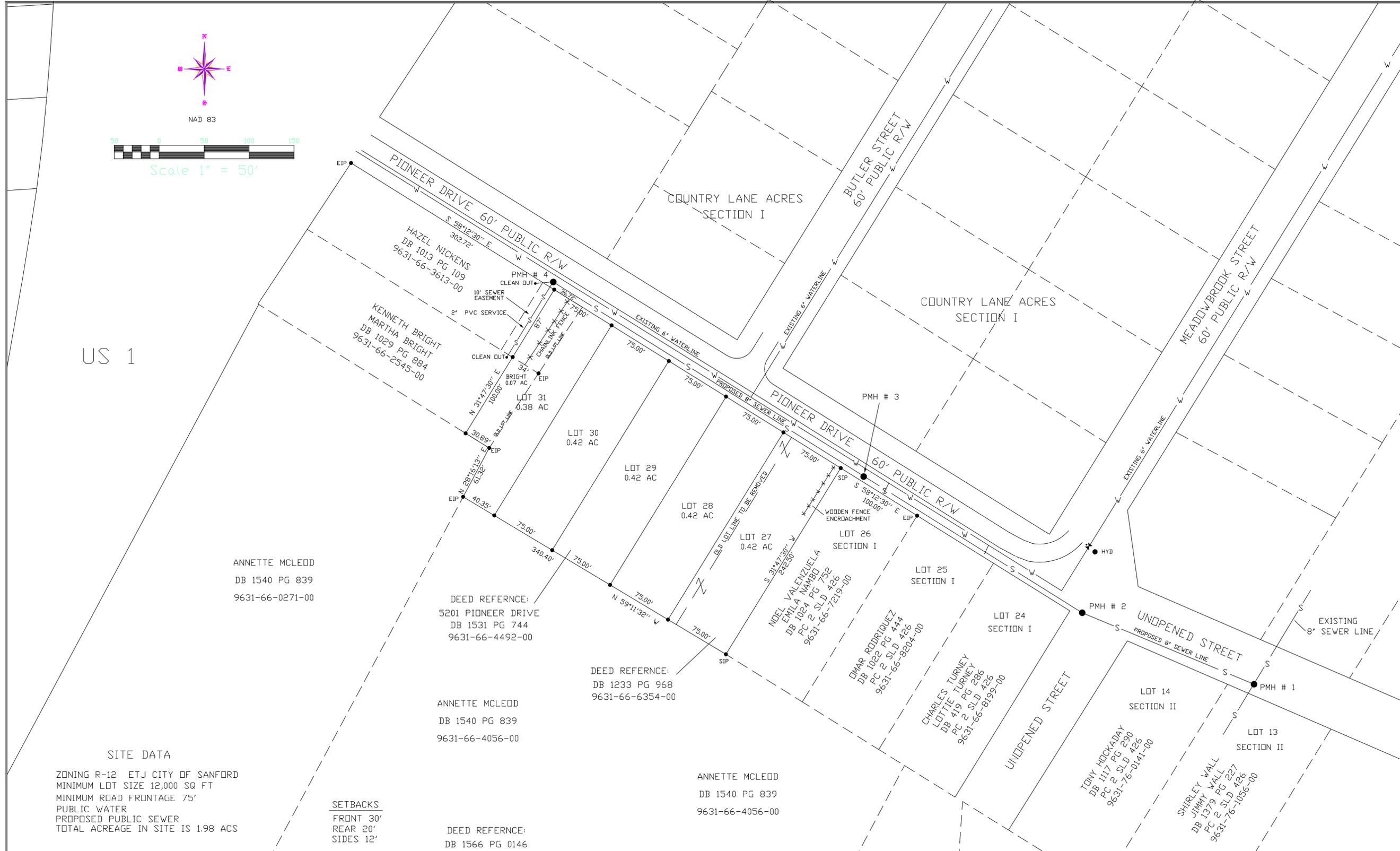
REVISIONS	
Date	By

PRELIMINARY PLAT FOR:  
COUNTRY LANE ACRES

LARRY K. ALLEN  
LAND SURVEYING, PLLC  
CERTIFICATE # P-1004  
LARRY K. ALLEN  
4469 PONDEROSA ROAD  
SANFORD, NC 27330

Design By:  
Drawn By:  
Check By:  
Date:  
Dwg No.  
Job No.  
Scale:  
Sheet

Seal



US 1

ANNETTE MCLEOD  
DB 1540 PG 839  
9631-66-0271-00

DEED REFERENCE:  
5201 PIONEER DRIVE  
DB 1531 PG 744  
9631-66-4492-00

DEED REFERENCE:  
DB 1233 PG 968  
9631-66-6354-00

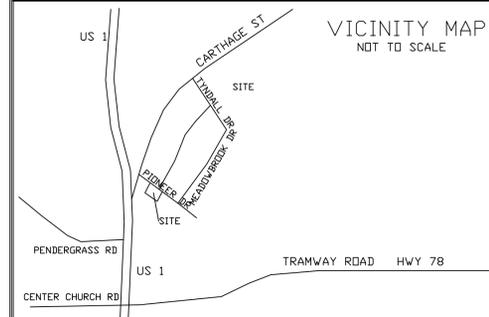
ANNETTE MCLEOD  
DB 1540 PG 839  
9631-66-4056-00

ANNETTE MCLEOD  
DB 1540 PG 839  
9631-66-4056-00

DEED REFERENCE:  
DB 1566 PG 0146

**SITE DATA**  
ZONING R-12 ETJ CITY OF SANFORD  
MINIMUM LOT SIZE 12,000 SQ FT  
MINIMUM ROAD FRONTAGE 75'  
PUBLIC WATER  
PROPOSED PUBLIC SEWER  
TOTAL ACREAGE IN SITE IS 1.98 ACS

**SETBACKS**  
FRONT 30'  
REAR 20'  
SIDES 12'



PRELIMINARY PLAT FOR:		OWNER:	
COUNTRY LANE ACRES SECTION 3 LOTS 27, 28, 29, 30, 31		MICHAEL W. BARBOUR 511 E. MAIN STREET SANFORD, NC	
TOWNSHIP:	WEST SANFORD	DATE:	APRIL 27, 2020
COUNTY:	LEE	SCALE:	1" = 50'
STATE:	NORTH CAROLINA	PARCEL #	9631-66-4492-00 9631-66-6354-00
LEGEND		DATE:	REVISIONS:
LARRY K. ALLEN LAND SURVEYING, PLLC CERTIFICATE # P-1004			
LARRY K. ALLEN 4469 PONDEROSA ROAD SANFORD, NC 27330			

I, LARRY K. ALLEN, REGISTERED LAND SURVEYOR NO. L-2454, CERTIFY TO THE ONE OR MORE OF THE FOLLOWING AS INDICATED WITH A "X":

A THAT THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

B THAT THIS PLAT IS OF A SURVEY THAT IS LOCATED IN SUCH PORTION OF A COUNTY OR MUNICIPALITY THAT IS UNREGULATED AS TO AN ORDINANCE THAT REGULATES PARCELS OF LAND.

C THAT THIS PLAT IS OF A SURVEY OF AN EXISTING PARCEL OR PARCELS OF LAND.

D THAT THIS PLAT IS OF A SURVEY OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

E THAT THE INFORMATION AVAILABLE TO THIS SURVEYOR IS SUCH THAT I AM UNABLE TO MAKE A DETERMINATION TO THE BEST OF MY PROFESSIONAL ABILITY AS TO PROVIDING CONTAINED IN (A) THROUGH (D) ABOVE.

I FURTHER CERTIFY THAT THIS PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FIRM FLOOD INSURANCE RATE MAPS

Project # \_\_\_\_\_ Drawing # \_\_\_\_\_

I, LARRY K. ALLEN, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED; WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

REGISTERED LAND SURVEYOR  
REGISTRATION NO. L-2454

S.I.P. Set Iron Pipe  
F.I.P. Found Iron Pipe  
F.C.M. Found Concrete Monument  
F.P.K. Found Pk. Nail  
F.R.R. Found Railroad Spike  
R/W Right of Way  
O.H.P. Overhead Power

C.P. Calculated Point  
P.P. Power Pole  
C.L. Centerline  
M.H. Manhole

STATE OF NORTH CAROLINA  
COUNTY OF LEE

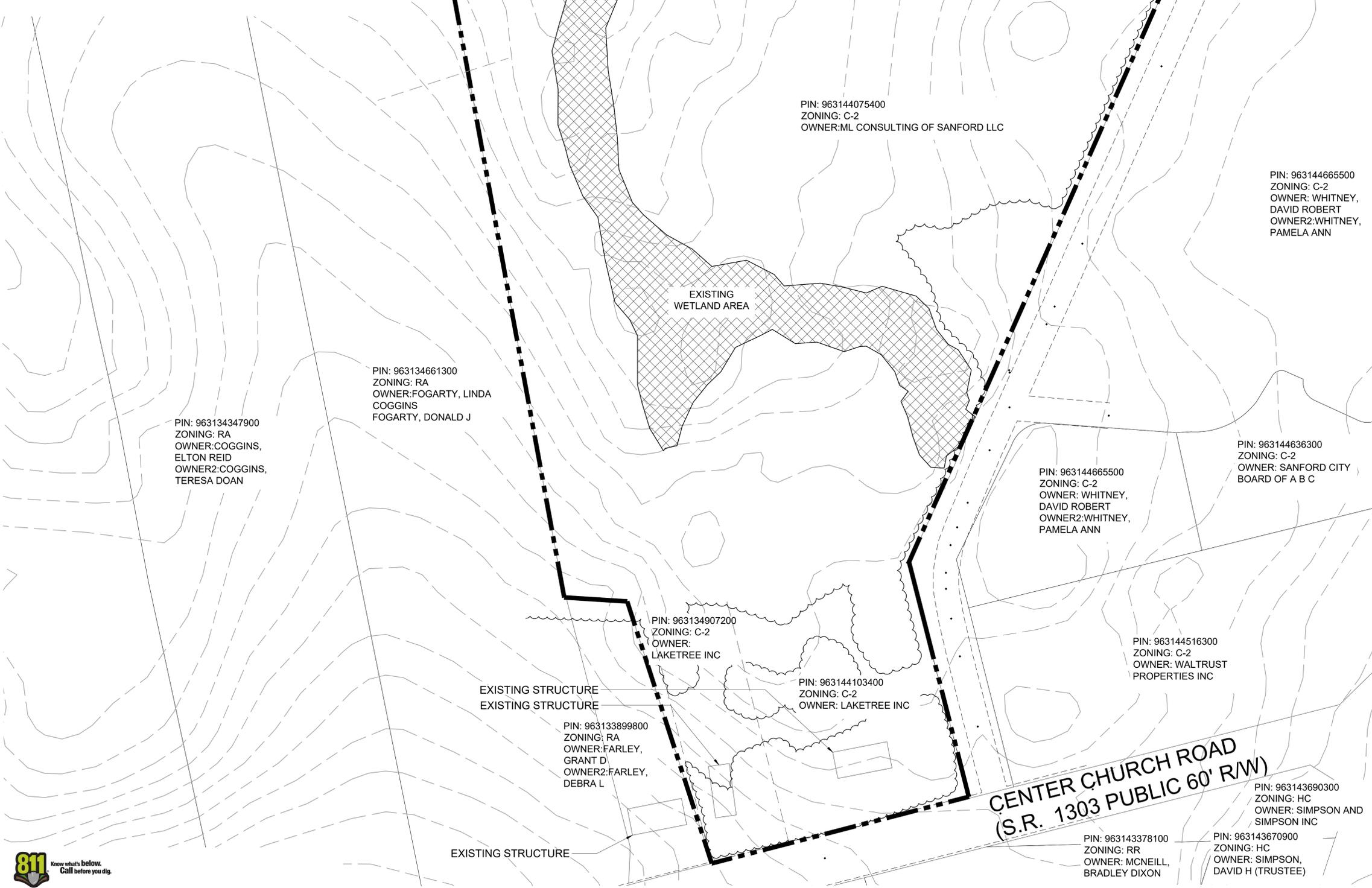
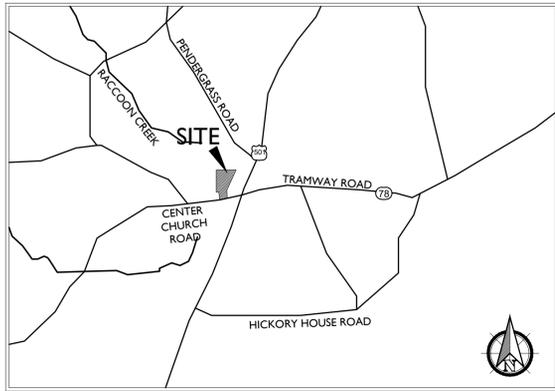
I, \_\_\_\_\_, REVIEW OFFICER OF LEE COUNTY CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

NORTH CAROLINA, LEE COUNTY  
PRESENTED FOR REGISTRATION ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, AT \_\_\_\_\_ RECORDED IN PLAT CABINET \_\_\_\_\_, SLIDE \_\_\_\_\_

PAMELA G. BRITT - REGISTER OF DEEDS





PIN: 963145327000  
 ZONING: R-20  
 OWNER: JOHNSON, HERMAN C

PIN: 963144075400  
 ZONING: C-2  
 OWNER: ML CONSULTING OF SANFORD LLC

PIN: 963144665500  
 ZONING: C-2  
 OWNER: WHITNEY, DAVID ROBERT  
 OWNER2: WHITNEY, PAMELA ANN

PIN: 963134347900  
 ZONING: RA  
 OWNER: COGGINS, ELTON REID  
 OWNER2: COGGINS, TERESA DOAN

PIN: 963134661300  
 ZONING: RA  
 OWNER: FOGARTY, LINDA  
 OWNER2: FOGARTY, DONALD J

PIN: 963134907200  
 ZONING: C-2  
 OWNER: LAKETREE INC

PIN: 963144665500  
 ZONING: C-2  
 OWNER: WHITNEY, DAVID ROBERT  
 OWNER2: WHITNEY, PAMELA ANN

PIN: 963144636300  
 ZONING: C-2  
 OWNER: SANFORD CITY BOARD OF A B C

PIN: 963144516300  
 ZONING: C-2  
 OWNER: WALTRUST PROPERTIES INC

PIN: 963144103400  
 ZONING: C-2  
 OWNER: LAKETREE INC

PIN: 963133899800  
 ZONING: RA  
 OWNER: FARLEY, GRANT D  
 OWNER2: FARLEY, DEBRA L

PIN: 963143378100  
 ZONING: RR  
 OWNER: MCNEILL, BRADLEY DIXON

PIN: 963143670900  
 ZONING: HC  
 OWNER: SIMPSON, DAVID H (TRUSTEE)

PIN: 963143690300  
 ZONING: HC  
 OWNER: SIMPSON AND SIMPSON INC

EXISTING STRUCTURE

EXISTING STRUCTURE  
 EXISTING STRUCTURE

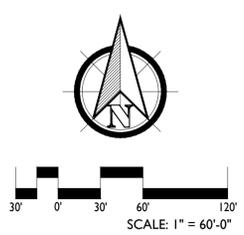
EXISTING WETLAND AREA

**FLOODPLAIN DATA**  
 THIS PROPERTY IS LOCATED IN FLOOD ZONE 'X' (AREAS OF MINIMAL FLOODING)  
 THERE IS NO 100-YEAR FLOODPLAIN ON THE PROPERTY  
 THIS SITE NOT LOCATION IN ANY ESTABLISHED WATERSHED

**LEGEND**  
 - - - - - = PROPERTY BOUNDARY  
 - - - - - = EXISTING PARCELS  
 - - - - - = EXISTING CONTOUR  
 - - - - - = EXISTING ROAD  
 [Cross-hatched] = EXISTING WETLAND  
 [Cloud-like] = EXISTING TREELINE

**PROPERTY INFORMATION**  
**PROPERTY OWNER(S):**  
 PARCEL 1:  
 ML CONSULTING OF SANFORD LLC  
 LAKETREE INC  
 PO BOX 487 SANFORD, NC 27331  
**APPLICANT(S):**  
 RILEY WALKER DEVELOPMENT  
 PO BOX 3248 PINEHURST, NC 28374  
**TOTAL WETLAND ACREAGE:**  
 ±1.89 AC  
**TOTAL ACREAGE:**  
 ±16.43 AC

**NOTES:**  
 1.0 ALL CONTOURS ARE SHOWN AT 2' INTERVALS BASED ON CITY OF SANFORD GIS DATA.  
 2.0 WETLANDS SHOWN DELINEATED BY:  
 WETLAND SOLUTIONS, INC  
 PO BOX 244  
 BUNNLEVEL, NC 28323



PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)

**REVISIONS:**

**KOONTZJONESDesign**  
 LAND PLANNING | LANDSCAPE ARCHITECTURE

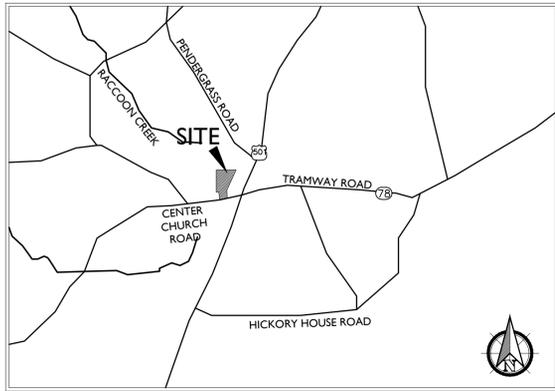
150 S PAGE STREET  
 SOUTHERN PINES, NC 28387  
 P: (910) 684-8487  
 W: www.koontzjonesdesign.com

**PINE RESERVE APARTMENTS**  
 SANFORD, NORTH CAROLINA

**EXISTING CONDITIONS**

DATE: 2020.04.28  
 DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:  
 SCALE: 1" = 60'-0"  
 PROJECT #: KD1401  
 SHEET NUMBER:  
**L-0.0**





**GENERAL NOTES:**

1. ALL DEVELOPMENT ON THE PROPERTY WILL ADHERE TO THE USES, DIMENSIONAL STANDARDS AND REQUIREMENTS OF REZONING. THE LAYOUT MAY NOT BE AMENDED SUBSTANTIALLY SIGNIFICANTLY WITHOUT SEEKING ADDITIONAL APPROVAL.
2. ALL DEVELOPMENT AND BUILDING PERMITS ARE SUBJECT TO ALL LOCAL, STATE AND FEDERAL PERMITTING GUIDELINES, RULES AND REGULATIONS AND MUST BE APPROVED BY THE CITY OF SANFORD.
3. WETLANDS EXIST ON THE SITE. AS REQUIRED BY LAW, ANY IMPACTS TO WETLANDS MUST BE PERMITTED AND MITIGATED PER THE REQUIREMENTS OF THE ARMY CORPS OF ENGINEERS AND THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES.
4. THE COMMUNITY LIES OUTSIDE OF ANY PROTECTED WATERSHED DISTRICT ESTABLISHED BY NCDWQ. THE PROJECT WILL COMPLY WITH ALL STATE AND LOCAL STANDARDS FOR STORM WATER MANAGEMENT. THE PROJECT WILL UTILIZE BEST MANAGEMENT PRACTICES AND ENGINEERED STORM WATER FACILITIES.
5. STORMWATER WILL BE PROVIDED AS NECESSARY TO MANAGE THE SITE'S RUNOFF. STORMWATER AND EROSION CONTROL PLAN TO BE REVIEWED DURING PERMIT PROCESS.
6. OPEN SPACE WILL BE PROVIDED THROUGHOUT THE COMMUNITY AS REQUIRED BY THE TOWN'S UDO. A MINIMUM OF 10% OF THE SITE MUST BE DEDICATED TO OPEN SPACE, TO BE MAINTAINED BY THE HOA.
7. LANDSCAPE STANDARDS WILL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF SANFORD UDO PER ARTICLES 7 AND 10.3.2.4.3.
8. ELECTRIC, WATER, SEWER AND GAS UTILITIES ARE READILY AVAILABLE FOR THE SITE. NEW UTILITY LINES WILL BE INSTALLED PER THE POLICIES OF THE LOCAL UTILITY PROVIDERS AND THE CITY OF SANFORD FOR UNDERGROUND UTILITIES.
9. STREET LIGHTING WILL BE DESIGNED IN CONFORMANCE WITH THE REQUIREMENTS OF ARTICLE 10.3.2.4.2.
10. SIGNAGE WILL BE DESIGNED TO ADHERE THE STANDARDS PROVIDED IN ARTICLE 11 OF THE UDO. A UNIFIED SIGN PLANS MAY BE PROVIDED FOR THE OVERALL PROPERTY.
11. CLUBHOUSE BUILDING FOOTPRINT AND POOL DESIGN SHOWN FOR ILLUSTRATIVE PURPOSE. THERE FACILITIES TO BE DESIGNED IN DETAIL AT A LATER DATE AND PERMITTED THROUGH THE CITY OF SANFORD.
12. LIGHTING PLAN TO BE PROVIDED DURING DETAILED DESIGN PHASE AND ADHERE TO CITY OF SANFORD UDO STANDARDS.
13. DEVELOPMENT OF THE PROJECT TO OCCUR IN TWO PHASES. EACH PHASE MAY BE DEVELOPED INDIVIDUALLY OR BOTH PHASES MAY BE DEVELOPED AT ONE TIME. INDIVIDUAL BUILDING MAY BE PHASED AND CONSTRUCTED IN SEQUENCE ONCE UTILITY INFRASTRUCTURE IS MADE AVAILABLE.
14. GENERAL LOCATIONS OF STORMWATER MANAGEMENT FACILITIES ARE SHOWN ON THESE PLANS. DRAINAGE FLOW ARROWS ARE INDICATED TO SHOW PATH OF WATER TO THESE FACILITIES.



**LEGEND**

- = PROPERTY BOUNDARY
- = EXISTING PARCELS
- = EXISTING CONTOUR
- = EXISTING ROAD
- = PROPERTY 20' SETBACK
- = STORMWATER MANAGEMENT AREA
- = PROPOSED SEWER LINE
- = PROPOSED SEWER FORCE MAIN
- = PROPOSED SEWER LINE
- = EXISTING WETLAND
- = DRAINAGE ARROW
- = POTENTIAL TREE SAVE AREA

**PROPERTY INFORMATION**

**JURISDICTION:** CITY OF SANFORD  
**CURRENT ZONING:** C-2 (RESIDENTIAL HOMES AND VACANT PARCEL)  
**REQUESTED ZONING:** MF-12-C (APARTMENT COMMUNITY)

**ACREAGE:** +/- 16.43 AC  
**IMPERVIOUS:** 8.20 AC  
**PHASE 1:** +/- 10.20 AC  
**PHASE 2:** +/- 16.23 AC

**TOTAL PROPOSED UNITS:** 252 (15.34 DUA)  
 1-BEDROOM: 42 UNITS  
 2-BEDROOM: 174 UNITS  
 3-BEDROOM: 36 UNITS

**SETBACKS:**  
 FRONT: 20'  
 SIDE: 20'  
 REAR: 20'

**PARKING:**  
 1 BEDROOM UNITS: 42 @ 1.5 SPACE/UNIT = 63 SPACES  
 2 BEDROOM UNITS: 174 @ 1.5 SPACE/UNIT = 261 SPACES  
 3 BEDROOM UNITS: 36 @ 2 SPACE/UNIT = 72 SPACES  
 REQUIRED TOTAL: 396 SPACES

**PROVIDED TOTAL:** 422 SPACES  
 REQUIRED ADA SPACES: 12 (11 CAR AND 1 VAN)  
 PROVIDED ADA SPACES: 13 (11 CAR AND 2 VAN)

**TOTAL OPEN SPACE:** +/- 3.5 AC (21%) (REQUIRED 1.65 AC (10%))  
**RECREATIONAL OPEN SPACE:** +/- 0.80 AC

**UTILITY NOTE**

NEW GRAVITY SEWER MAINS SHALL BE 8"  
 NEW WATER MAINS SHALL BE 8"  
 NEW SEWER FORCE MAIN SHALL BE 4" TO CARRY 103 GALLONS PER MINUTE PEAKED SEWER FLOW (59,040/1440) X 2.5 = 103 GPM

PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)

**KOONTZJONESDesign**  
 LAND PLANNING | LANDSCAPE ARCHITECTURE

150 S PAGE STREET  
 SOUTHERN PINES, NC 28387  
 P: (910) 684-8487  
 W: www.koontzjonesdesign.com

REVISIONS:

**PINE RESERVE APARTMENTS**  
 SANFORD, NORTH CAROLINA

**OVERALL SITE PLAN AND UTILITIES CONCEPT**

DATE: 2020.04.28  
 DESIGNED BY:  
 CHECKED BY:  
 SCALE: 1" = 60'-0"  
 PROJECT #: KD1401  
 SHEET NUMBER: #

**L-1.0**



MATCHLINE-SEE SHEET L-2.1



**1.0 LANDSCAPE NOTES:**

- 1.1 THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.
- 1.2 UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LANDSCAPE ARCHITECT, OR THEIR REPRESENTATIVES. PLEASE CALL BEFORE YOU DIG.
- 1.3 THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
- 1.4 THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DISCREPANCIES. NOTIFICATION SHALL BE MADE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
- 1.5 ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES AND REQUIREMENTS.
- 1.6 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS COMPLETED WORK BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINAGE, FENCES, DRIVEWAY APRONS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGES IN KIND RESULTING FROM HIS/HER FAILURE TO COMPLY.
- 1.7 THE CONTRACTOR IS TO VERIFY ALL QUANTITIES SHOWN ON THE PLAN AND IN THE PLANT SCHEDULE. IF DISCREPANCIES OCCUR, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY. QUANTITIES OF PLANTS SHOWN BY LANDSCAPE SYMBOLS SHALL GOVERN OVER THE QUANTITIES SHOWN IN THE PLANT SCHEDULE.
- 1.8 ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. THE OWNER SHALL RECEIVE TAGS FROM EACH PLANT SPECIES AND A LIST OF PLANT SUPPLIERS. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY OR CULTIVAR PER THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN). PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- 1.9 NO SUBSTITUTIONS OF PRODUCTS, PLANT TYPES OR SIZES SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT, AND MUNICIPAL REVIEW AGENCY. REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING, AND SHALL STATE THE REASONS FOR THE SUBSTITUTION REQUEST, THE SUGGESTED ALTERNATIVE, AND THE CHANGES IN COST. REQUESTS FOR SUBSTITUTION IN PLANT MATERIAL SHALL STATE THE NAMES OF NURSERIES WHO HAVE BEEN UNABLE TO SUPPLY THE ORIGINALLY SPECIFIED MATERIAL.
- 1.10 PLANTING SHALL ONLY OCCUR DURING SPECIFIED PLANTING SEASONS. SPRING SEASON SHALL BE FROM MARCH 1 TO JUNE 15. FALL PLANTING SEASON SHALL BE FROM SEPTEMBER 15 TO NOVEMBER 15.
- 1.11 THE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, FOR ONE FULL YEAR AS REQUIRED BY THE SPECIFICATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE DURING THE GUARANTEE PERIOD.
- 1.12 INSTALLED UNIT PRICES FOR ALL PLANT MATERIAL SHALL BE SUPPLIED TO THE OWNER AND LANDSCAPE ARCHITECT AT THE TIME OF BIDDING.
- 1.13 THE LANDSCAPE CONTRACTOR IS SUBJECT TO RANDOM INSPECTIONS BY THE OWNER AND/OR THE OWNER'S REPRESENTATIVE AT ANY TIME DURING THE INSTALLATION PROCESS.
- 1.14 ALL INTERNAL ISLANDS WITH PROPOSED LARGE OR SMALL TREE PLANTINGS ARE IN COMPLIANCE WITH SECTION 4.3.6 (C) OF THE TOWN OF SOUTHERN PINES UDO AND CONTAIN AT LEAST 250 SF OF CONTIGUOUS PERVIOUS GROWING AREA WITH A MINIMUM WIDTH OF 10'.

**2.0 BUFFERS**

- 2.1 ALL BUFFERS TO UTILIZE THE TYPE B BUFFER YARD LANDSCAPE REQUIREMENT.  
TYPE B BUFFER YARD STANDARD:  
 MINIMUM WIDTH = 15'  
 MINIMUM REQUIRED LARGE TREES = 1 PER LF  
 MINIMUM REQUIRED SMALL TREES = 1 PER 100 LF  
 MINIMUM REQUIRED POINTS PER LF = 0.7
- 2.2 ALL PLANTINGS AND LANDSCAPE PLAN TO MEET OR EXCEED THE CITY OF SANFORD STANDARDS SET FORTH IN ARTICLE 7 OF THE UDO.
- 2.3 LANDSCAPE SUBSTITUTIONS MAY BE MADE BASED ON AVAILABILITY AS LONG AS INTENT IS MAINTAINED.
- 2.4 IRRIGATION TO BE PROVIDED.

PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)

**KOONTZJONESDesign**  
 LAND PLANNING | LANDSCAPE ARCHITECTURE

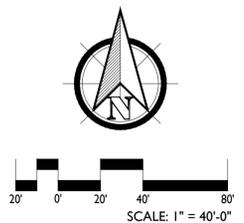
150 S PAGE STREET  
 SOUTHERN PINES, NC 28387  
 P: (910) 684-8487  
 W: www.koontzjonesdesign.com

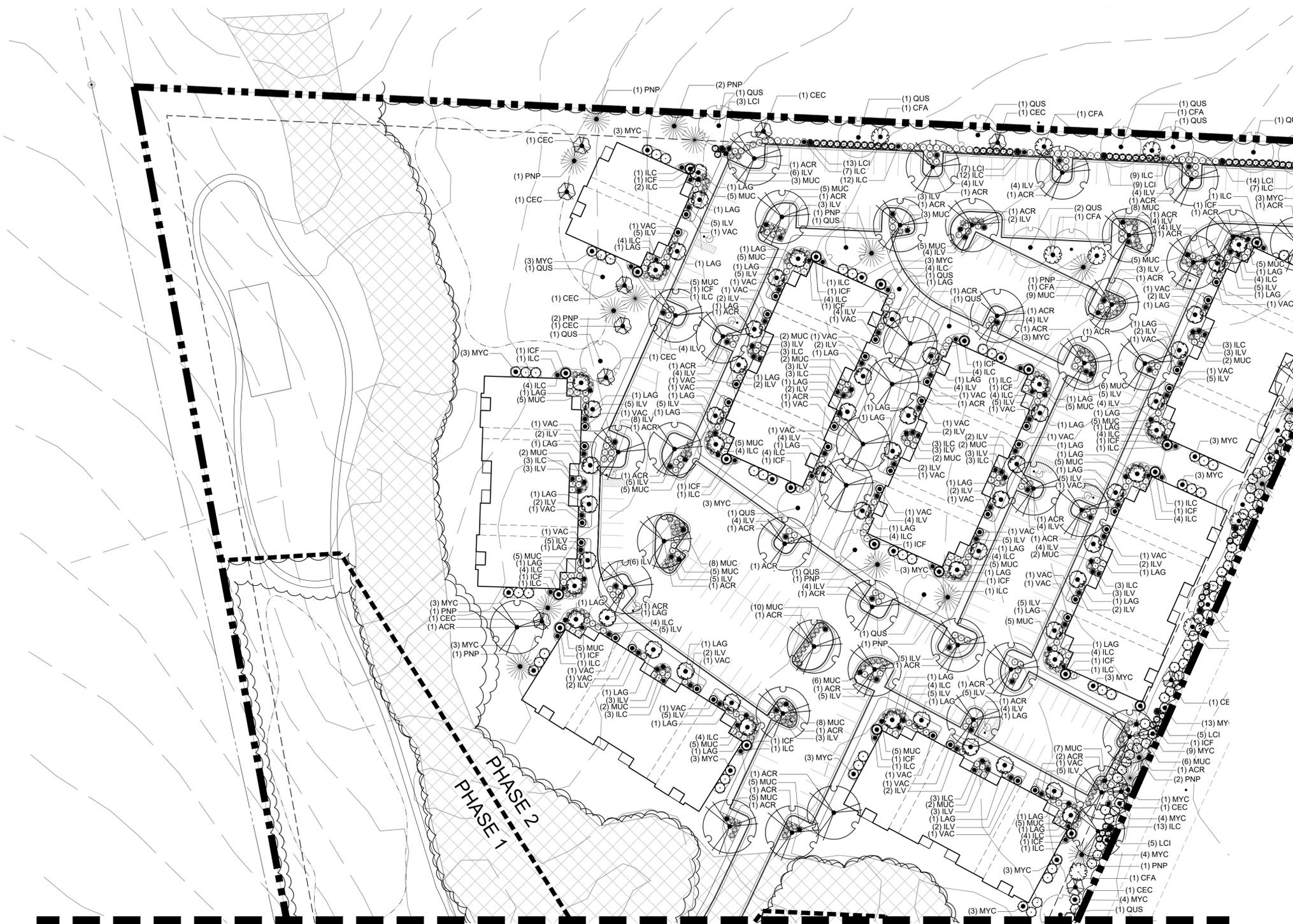
REVISIONS:

**PINE RESERVE APARTMENTS**  
 SANFORD, NORTH CAROLINA

**LANDSCAPE PLAN**

DATE: 2020.04.28  
 DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:  
 SCALE: 1" = 40'-0"  
 PROJECT #: KD1401  
 SHEET NUMBER:  
**L-2.0**





MATCHLINE-SEE SHEET L-2.0

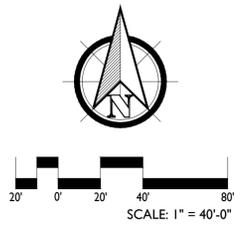
**1.0 LANDSCAPE NOTES:**

- 1.1 THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.
- 1.2 UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LANDSCAPE ARCHITECT, OR THEIR REPRESENTATIVES. PLEASE CALL BEFORE YOU DIG.
- 1.3 THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
- 1.4 THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DISCREPANCIES. NOTIFICATION SHALL BE MADE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
- 1.5 ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES AND REQUIREMENTS.
- 1.6 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS COMPLETED WORK BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINAGE, FENCES, DRIVEWAY APRONS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGES IN KIND RESULTING FROM HIS/HER FAILURE TO COMPLY.
- 1.7 THE CONTRACTOR IS TO VERIFY ALL QUANTITIES SHOWN ON THE PLAN AND IN THE PLANT SCHEDULE. IF DISCREPANCIES OCCUR, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY. QUANTITIES OF PLANTS SHOWN BY LANDSCAPE SYMBOLS SHALL GOVERN OVER THE QUANTITIES SHOWN IN THE PLANT SCHEDULE.
- 1.8 ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. THE OWNER SHALL RECEIVE TAGS FROM EACH PLANT SPECIES AND A LIST OF PLANT SUPPLIERS. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY OR CULTIVAR PER THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN). PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- 1.9 NO SUBSTITUTIONS OF PRODUCTS, PLANT TYPES OR SIZES SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT, AND MUNICIPAL REVIEW AGENCY. REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING, AND SHALL STATE THE REASONS FOR THE SUBSTITUTION REQUEST, THE SUGGESTED ALTERNATIVE, AND THE CHANGES IN COST. REQUESTS FOR SUBSTITUTION IN PLANT MATERIAL SHALL STATE THE NAMES OF NURSERIES WHO HAVE BEEN UNABLE TO SUPPLY THE ORIGINALLY SPECIFIED MATERIAL.
- 1.10 PLANTING SHALL ONLY OCCUR DURING SPECIFIED PLANTING SEASONS. SPRING SEASON SHALL BE FROM MARCH 1 TO JUNE 15. FALL PLANTING SEASON SHALL BE FROM SEPTEMBER 15 TO NOVEMBER 15.
- 1.11 THE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, FOR ONE FULL YEAR AS REQUIRED BY THE SPECIFICATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE DURING THE GUARANTEE PERIOD.
- 1.12 INSTALLED UNIT PRICES FOR ALL PLANT MATERIAL SHALL BE SUPPLIED TO THE OWNER AND LANDSCAPE ARCHITECT AT THE TIME OF BIDDING.
- 1.13 THE LANDSCAPE CONTRACTOR IS SUBJECT TO RANDOM INSPECTIONS BY THE OWNER AND/OR THE OWNER'S REPRESENTATIVE AT ANY TIME DURING THE INSTALLATION PROCESS.
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PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)

REVISIONS:

**PINE RESERVE APARTMENTS**  
 SANFORD, NORTH CAROLINA

**LANDSCAPE PLAN**





## PINE RESERVE APARTMENT

CONCEPTUAL FRONT ELEVATION

- NOTES:**
- BASE TO BE BRICK
  - SIDING TO BE VINYL IN DIFFERENT PATTERNS TO ADD INTEREST
  - WINDOWS TO BE VINYL CLAD
  - ROOF SHINGLES TO BE ARCHITECTURAL ASPHALT SHINGLES
  - COLOR TO BE VARYING EARTH TONES





N/F  
**CC ENTERPRISE PARK, LLC**  
 PIN: 9655-28-6833  
 DB 1026 PG 9  
 PC 2010 PG 130 (LOT 3)  
 PC 10 PG 26-D & E  
 ZONING: LI  
 AREA = 14.5 AC

PERMANENT DRAINAGE EASEMENT  
 DB 1337, PG. 699  
 MB 2013, PG. 38-41

N/F  
**CC ENTERPRISE PARK, LLC**  
**TRACT 2**  
 PIN: 9655-38-2580  
 DB 1417 PG 326  
 PC 2010 PG 130 (A PORTION OF LOT 2)  
 PC 10 PG 26-D & E  
 AREA = 10.60 AC

**PROPOSED BUILDING**  
 ±117,378 SF

N/F  
**LEE D. TALBOTT**  
 PIN: 9655-36-4193  
 DB 51 PG 26  
 PC 18 PG 59  
 ZONING: LI  
 AREA = 35.5 AC

**SITE DATA**

SITE ADDRESS: ENTERPRISE PARK DRIVE  
 PIN: 9655-38-2580  
 OWNER: CC ENTERPRISE PARK LLC  
 DEVELOPERS: SAMET CORPORATION  
 ZONING DISTRICT: CCEP - C2  
 MUNICIPALITY: SANFORD  
 WATERSHED: CAPE FEAR  
 EXISTING SITE ACREAGE: TRACT 2 = 10.60 ACRES

FLOOD ZONE: X  
 FEMA PANEL NUMBER: 3710965500J, DATED: 09/06/2006

EXISTING USE: VACANT  
 PROPOSED USE: INDUSTRIAL BUILDING

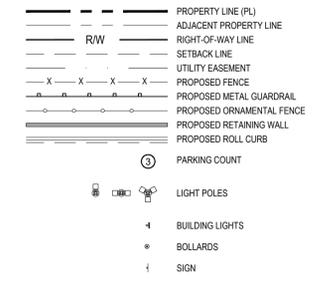
SETBACKS:  
 FRONT (WEST): 30'  
 REAR (EAST): 0'  
 SIDE (NORTH/SOUTH): 0'

BUILDING HEIGHT: 31'-9.5"  
 BUILDING FLOORS: 1  
 GROSS FLOOR AREA: 117,378 SF

IMPERVIOUS SURFACE: 182,297 SF = 4.18 AC. (39.43% OF SITE)

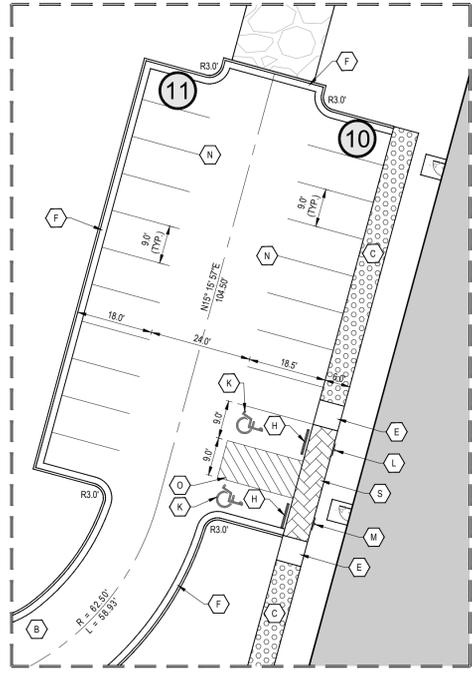
TOTAL PARKING REQUIRED: 2 PER 3 EMPLOYEES @ MAX SHIFT x 30 EMPLOYEES = 20 SPACES  
 TOTAL PARKING PROVIDED: 21 SPACES  
 HANDICAP PARKING REQUIRED: 2 SPACES  
 HANDICAP PARKING PROVIDED: 2 SPACES

**LEGEND**



**SITE KEYNOTES**

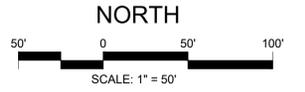
- A HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL 1, SHEET 9)
- B LIGHT DUTY ASPHALT PAVEMENT (SEE DETAIL 2, SHEET 9)
- C 4" THICK CONCRETE SIDEWALK (SEE DETAIL 404.03, SHEET 8)
- D HEAVY DUTY CONCRETE PAVEMENT/APRON FLUSH WITH ASPHALT
- E ADA COMPLIANT ACCESSIBILITY RAMP
- F 30" STANDARD CURB AND GUTTER
- G GRAVEL DRIVE
- H CONCRETE WHEEL STOP (TYP.)
- I 4" CHAINLINK FENCE
- J BOLLARD (TYP.)
- K HANDICAP PARKING (SEE DETAIL 5, SHEET 10)
- L HANDICAP SIGNAGE, SIGN TO BE "VAN ACCESSIBLE" (SEE DETAIL 1, SHEET 10)
- M HANDICAP SIGNAGE, NOT VAN ACCESSIBLE (SEE DETAIL 1, SHEET 10)
- N 4" WIDE STRIPE, WHITE (TYP.)
- O 4" WIDE STRIPE, WHITE, 45° @ 2'-0" O.C.
- P MUTCD R1-1 "STOP" SIGN (SEE DETAIL 2, SHEET 10)
- Q 10' x 70' SIGHT DISTANCE TRIANGLE (SEE NOTE 15 THIS SHEET)
- R HEAVY DUTY CONCRETE HVAC PAD
- S 4" THICK CONCRETE FLUSH SIDEWALK (SEE DETAIL 404.03, SHEET 8)
- T MODULAR BLOCK RETAINING WALL
- U VARIABLE WIDTH PRIVATE STORMWATER MAINTENANCE & ACCESS EASEMENT
- V METAL GUARDRAIL (NCDOT)



**PARKING BAY ENLARGEMENT**  
 1" = 20'

**SITE NOTES**

1. BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
2. CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
3. CONTRACTOR SHALL PUT INTO PLACE SUCH TEMPORARY EROSION CONTROL MEASURES AS INDICATED ON THE PLANS. THESE MEASURES SHALL BE INSPECTED AND EVALUATED DURING CONSTRUCTION OPERATION FOR THEIR EFFECTIVENESS IN PREVENTING EROSION MATERIAL AND SEDIMENT FROM DISCHARGING FROM THE WORK AREA. IF REQUIRED, AND AS DIRECTED BY THE CITY INSPECTOR, ADDITIONAL TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTITUTED AND INSTALLED.
4. UNLESS EXPLICITLY SPECIFIED IN THESE PLANS, ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF SANFORD UNIFIED DEVELOPMENT ORDINANCE AND THE MANUAL OF STANDARD DESIGNS AND DETAILS (MSDD), AND ALL OTHER APPLICABLE REGULATIONS AND GUIDELINES. IN THE EVENT OF A DISCREPANCY BETWEEN THIS APPROVED PLAN AND THE APPLICABLE REGULATIONS OR GUIDELINES, THE MORE STRINGENT SHALL APPLY. CONTRACTOR SHALL HAVE A CURRENT COPY OF THE MSDD ON SITE.
5. PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT A COST TO THE CONTRACTOR.
6. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SUCH THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
7. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION. DEBRIS SHALL BE DISPOSED OF IN A PROPER AND LEGAL MANNER. CONTRACTOR IS RESPONSIBLE FOR ANY FEES.
8. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
9. ALL PARKING LOT STRIPING AND DIRECTIONAL ARROWS TO BE PAINTED REFLECTIVE WHITE, TWO COATS.
10. IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE OWNER.
11. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING AND PIPE INVERT ELEVATIONS PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT.
12. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
13. BUILDING DIMENSIONS SHOWN ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
14. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION IN WRITING MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
15. NO SIGHT OBSTRUCTING, OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, SIGN, PARKED VEHICLE, OR OTHER OBJECT BETWEEN THE HEIGHTS OF TWO (2) FEET AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION (OR THE EDGE OF PAVEMENT IF NO CURB EXISTS) SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
16. ALL RADII DIMENSIONS ARE TO BACK OF CURB.
17. CONTRACTOR RESPONSIBLE FOR CONTACTING G.U.C. AFTER SITE PLAN APPROVAL, BUT PRIOR TO CONSTRUCTION, IN ORDER TO DEVELOP A PARKING LOT LIGHTING PLAN AS REQUIRED PER JURISDICTIONAL GUIDELINES. CONTRACTOR RESPONSIBLE FOR COORDINATION OF LIGHT POLES SO AS NOT TO CONFLICT WITH PREVIOUSLY APPROVED LANDSCAPE AND HARDSCAPE ELEMENTS.
18. AREAS NOTED FOR TRAILS AND GREENWAYS AND / OR REQUIRED SIDEWALKS SHALL BE UNOBSTRUCTED FROM 6 INCHES BELOW GRADE TO 10 FEET ABOVE GRADE (OVERHEAD CLEARANCE); TELEPHONE PEDESTALS, ELECTRIC TRANSFORMERS, DROP INLETS, FENCES, OR ANY OTHER OBSTRUCTIONS SHALL BE REMOVED AND / OR RELOCATED IN ORDER TO CREATE AND MAINTAIN THIS CLEARANCE AND SHALL BE FREE OF CRACKS AND DAMAGE PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY. SITE SUBJECT TO SANFORD COMPREHENSIVE BICYCLE AND PEDESTRIAN PLAN.
19. ALL FORM WORK FOR CURB RAMPS TO BE INSPECTED AND APPROVED BY CITY OF SANFORD PUBLIC WORKS PRIOR TO POURING CONCRETE.



**ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL NCDOT STANDARDS AND THE CITY OF SANFORD'S SPECIFICATIONS AND DESIGN STANDARDS.**

NO.	REVISIONS	DATE

**CE GROUP**  
 301 GLENWOOD AVE. 220  
 RALEIGH, NC 27603  
 PHONE: 919-367-8790  
 FAX: 919-322-0032

www.cegroupinc.com  
 License # C-1739



**CCEP LOT #2**  
**CONSTRUCTION DRAWINGS**  
**LAYOUT PLAN**

ENTERPRISE PARK DRIVE  
 SANFORD, NORTH CAROLINA 27330

Date: 05/01/2020  
 Scale: 1" = 50'  
 Drawn: BWM/JCH  
 Checked: JMC  
 Project No: 200-107  
 Computer Dwg. Name: 200-107 - LOT 2 3 LAYOUT PLAN

Sheet No:  
**3**

P:\200\Lee-Moore\200-107\Lee-Moore\200-107-Layout\Plan\Plan200-107-LOT 2 3 LAYOUT PLAN.dwg PLOTTED: 4/30/2020 3:19 PM BY: BMUELLER



N/F  
**CC ENTERPRISE PARK, LLC**  
 PIN: 9655-28-6833  
 DB 1026 PG 9  
 PC 2010 PG 130 (LOT 3)  
 PC 10 PG 26-D & E  
 ZONING: LI  
 AREA = 14.5 AC

PERMANENT DRAINAGE EASEMENT  
 DB 1337, PG. 699  
 MB 2013, PG. 38-41

N/F  
**CC ENTERPRISE PARK, LLC**  
**TRACT 2**  
 PIN: 9655-38-2580  
 DB 1417 PG 326  
 PC 2010 PG 130 (A PORTION OF LOT 2)  
 PC 10 PG 26-D & E  
 AREA = 10.60 AC

N/F  
**LEE D. TALBOTT**  
 PIN: 9655-36-4193  
 DB 51 PG 26  
 PC 18 PG 59  
 ZONING: LI  
 AREA = 35.5 AC

**PROPOSED BUILDING**  
 ±117,378 SF

100-YEAR FLOODPLAIN

WET POND VEGETATED SHELF  
 (SEE SHEET 7B FOR MORE DETAILS)

PROPOSED STORMWATER POND

**LANDSCAPE CALCULATIONS**

**8' TYPE A STREETSCAPE BUFFER**  
 (ALONG ENTERPRISE PARK DRIVE)

TOTAL STREET FRONTAGE: ±1,083 LF

1 LARGE TREE REQUIRED / 50 LF OR  
 2 SMALL TREES REQUIRED / 50 LF

(2) LARGE TREES REQUIRED  
 (4) SMALL TREES REQUIRED

**LARGE TREES PROVIDED**  
 (2) *Quercus nuttallii*  
 (2) LARGE TREES PROVIDED

**PARKING LOT PLANTINGS**

TOTAL PARKING SPACES: 27 SPACES

1 LARGE TREE REQUIRED / 20 SPACES  
 8 SHRUBS REQUIRED / 20 SPACES

(2) LARGE TREES REQUIRED  
 (16) SHRUBS PROVIDED

**PARKING LOT PLANTINGS PROVIDED**  
 (2) *Zelkova serrata* 'Village Green'  
 (2) LARGE TREES PROVIDED

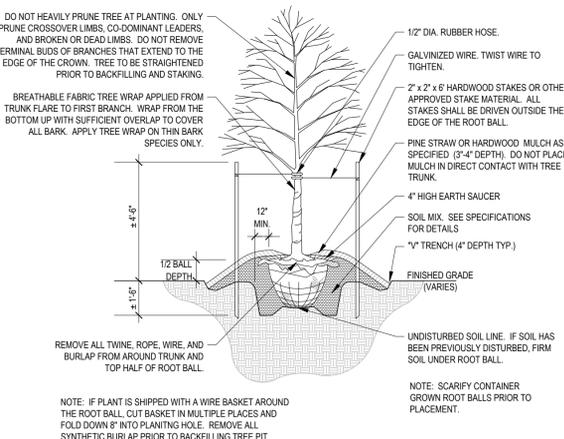
(7) *Abelia grandiflora* 'Rose Creek'  
 (9) *Ilex crenata* 'Hoogendorn'  
 (16) SHRUBS PROVIDED

**LEGEND**

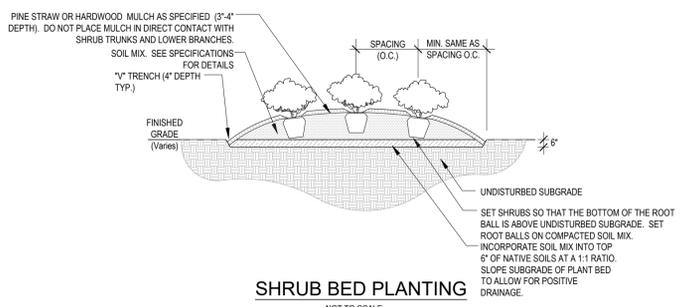
- PROPERTY LINE (PL)
- RIGHT-OF-WAY LINE
- SETBACK LINE
- UTILITY EASEMENT
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED STORM DRAINAGE PIPE
- PROPOSED GRAVITY SEWER
- PROPOSED WATER LINE
- PROPOSED TREE PROTECTION FENCE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED RETAINING WALL
- AREA TO BE SODDED
- AREA TO BE SEEDED
- ROCK MULCH

**PLANT LIST**

SYM.	QUAN.	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	REMARKS
<b>CANOPY TREES</b>							
QN	2	<i>Quercus nuttallii</i>	Nuttall Oak	2-1/2" MIN.	12'-14'	B & B	FULL TO MATCH
ZSV	1	<i>Zelkova serrata</i> 'Village Green'	Village Green Zelkova	2-1/2" MIN.	12'-14'	B & B	FULL TO MATCH
<b>SHRUBS</b>							
AGR	15	<i>Abelia x grandiflora</i> 'Rose Creek'	Rose Creek Abelia	-	18"-24"	5 GAL. MIN.	5' O.C.
ICH	20	<i>Ilex crenata</i> 'Hoogendorn'	Hoogendorn Japanese Holly	-	18"-24"	5 GAL. MIN.	5' O.C.



**TREE PLANTING**  
 NTS



**SHRUB BED PLANTING**  
 NOT TO SCALE

**GENERAL PLANTING NOTES**

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- INSTALLATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANTING PLAN SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR.
- ALL TREES, SHRUBS, AND BEDDING PLANTS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA).
- ALL PLANTINGS AND SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
- SET TOP OF TREE ROOT BALL 3" ABOVE GRADE. SHRUBS 2" ABOVE GRADE.
- THE SIZE OF ALL ROOT BALLS SHALL CONFORM TO ANLA STANDARDS.
- FERTILIZE ALL PLANTS WITH AGRIFORM FERTILIZER TABLETS OR EQUAL APPLIED AT MANUFACTURER'S RECOMMENDED RATE.
- GUYING AND STAKING, IF NECESSARY, SHALL BE REMOVED AFTER ONE GROWING SEASON.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- REPORT ANY DISCREPANCIES TO THE PROJECT OWNER OR AGENT.
- SUBSTITUTIONS OR ALTERATIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN NOTIFICATION BY THE OWNER OR GOVERNING AUTHORITY.
- APPLY 3" OF TRIPLE SHREDDED HARDWOOD MULCH TO ALL PLANTING AREAS.
- IF ADVERSE PLANTING CONDITION EXIST, REPORT ISSUES TO PROJECT OWNER OR AGENT.
- ALL NEWLY INSTALLED TREES, SHRUBS AND BEDDING PLANTS SHALL BE GUARANTEED FOR ONE YEAR.
- SHRUBS ALONG PERIMETER OF PARKING SHALL BE INSTALLED NO CLOSER THAN 3' FROM BACK OF CURB.

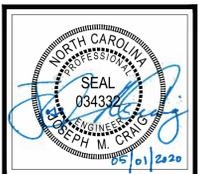
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NO.	REVISIONS	DATE

**CE GROUP**

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 RALEIGH, NC 27603  
 PHONE: 919-367-8790  
 FAX: 919-322-0032

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 License # C-1739



**CCEP LOT #2**  
 CONSTRUCTION DRAWINGS  
 LANDSCAPE PLAN

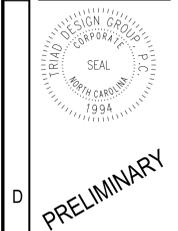
ENTERPRISE PARK DRIVE  
 SANFORD, NORTH CAROLINA 27330

Date: 05/01/2020  
 Scale: 1" = 50'  
 Drawn: BWM/JCH  
 Checked: JMC  
 Project No: 200-107  
 Computer Dwg. Name: 200-107 - LOT 2 & LANDSCAPE PLAN

Sheet No:  
**8**

P: 200 | Lee-Moore | 200-107 | Lee County Industrial Park | Lot #2 | Landscape Plan | 2020-107 - LOT 2 & LANDSCAPE PLAN.dwg | PLOTTED: 4/30/2020 3:10 PM BY: BMUELLER

A:\2020\2020-018\2020-018.dwg - 30 x 42 - 4/28/2020 2:47 PM



**PRELIMINARY**

NOT FOR CONSTRUCTION



**CCEP 3**  
Lot #10 Shell Building  
Enterprise Drive  
Sanford, North Carolina

SUBMITTALS:  
DATE DESCRIPTION

REVISIONS:  
NO DATE DESCRIPTION

SHEET TITLE:

**BUILDING ELEVATIONS**

Date: April 1, 2020  
Drawn: AVE Check: MTM  
Job Number: 20-018  
Sheet: **A201**

**ELEVATION KEY NOTES**

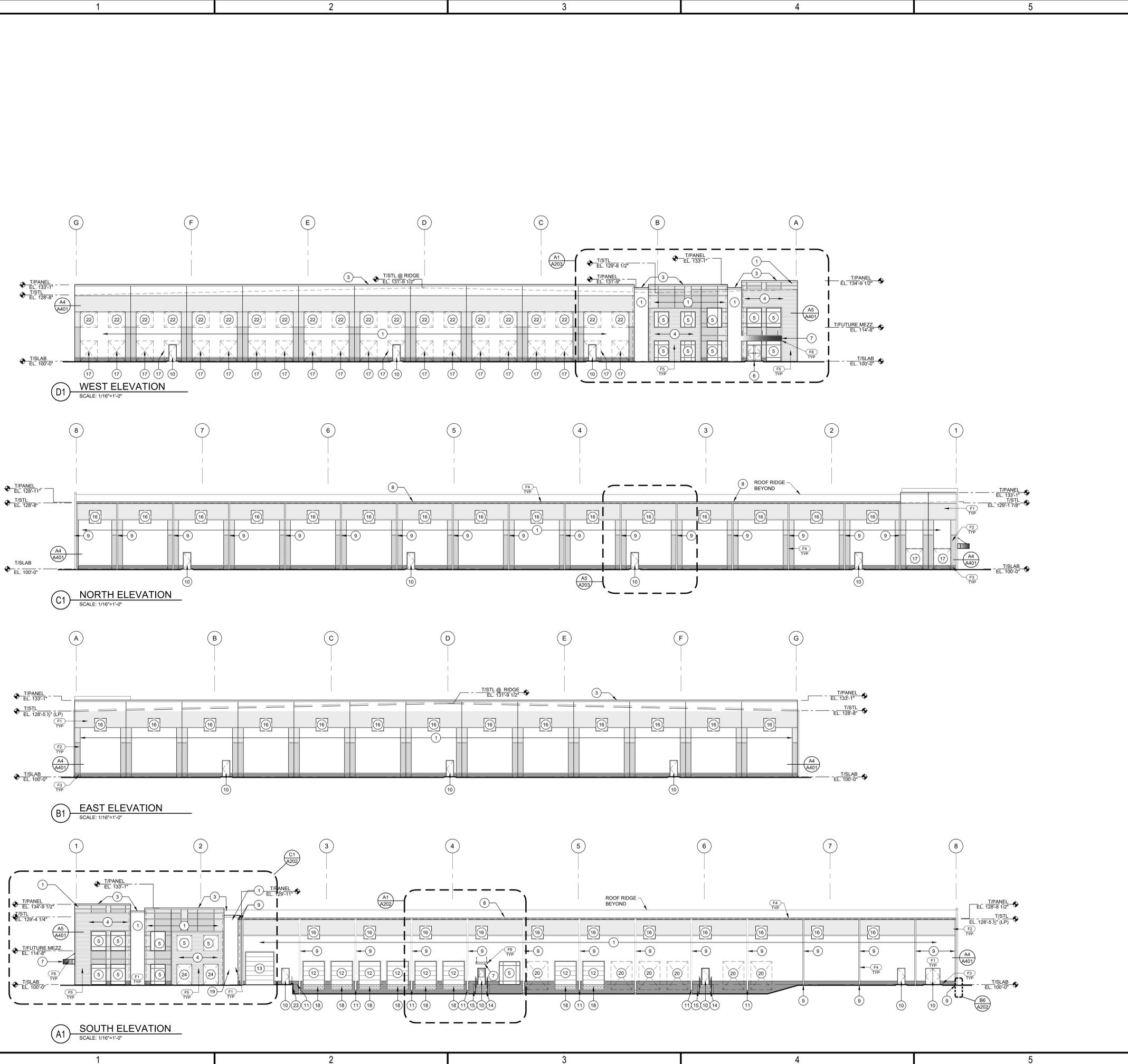
- 1 TILT-UP CONCRETE WALL PANELS (PAINT)
- 2 24 GA. PREFINISHED METAL EDGE TRIM
- 3 24 GA. PREFINISHED METAL COPING
- 4 "RIGID WALL" PREFINISHED ALUMINUM HORIZONTAL WALL PANELS BY ATAS INTERNATIONAL OR APPROVED EQUAL. FINISH:
- 5 ALUMINUM STOREFRONT WITH 1 3/4" TINTED LAMINATED INSULATED GLASS. SEE A001 FRAME TYPES AND ROUGH OPENING DIMENSIONS
- 6 ALUMINUM ENTRY. SEE DOOR SCHEDULE
- 7 PREFINISHED METAL CANOPY
- 8 PREFINISHED 8" W. x 6" H. METAL GUTTER
- 9 PREFINISHED 6" x 6" METAL DOWNSPOUT
- 10 HOLLOW METAL DOOR AND FRAME (PAINT). SEE DOOR SCHEDULE
- 11 DOWNSPOUT GUARD. SEE DETAIL B6/A202
- 12 9 x 10 INSULATED OVERHEAD SECTIONAL DOOR (FACTORY FINISH). SEE DOOR SCHEDULE
- 13 12 x 14 INSULATED OVERHEAD SECTIONAL DOOR (FACTORY FINISH). SEE DOOR SCHEDULE
- 14 STEEL STAIR (PAINT). SEE DETAIL A3/A202 AND A5/A202
- 15 STEEL PIPE BOLLARD (PAINT). SEE DETAIL A6/A202
- 16 5'-0" WIDE X 5'-6" KNOCK OUT FOR FUTURE WINDOW OR LOUVER. BOTTOM OF OPENING @ 19'-10" A.F.F.
- 17 7'-4" WIDE X 8'-10" HIGH KNOCK-OUT PANEL
- 18 FUTURE DOCK LEVELER OPENING. IN-FILL WITH CMU
- 19 GALVANIZED METAL ROOF ACCESS LADDER TO COMPLY WITH 2018 IBC AND OSHA # 1910.28
- 20 9'-0" WIDE X 12'-2" HIGH KNOCK-OUT PANEL
- 21 NOT USED
- 22 7'-4" WIDE X 6'-9" HIGH KNOCK-OUT PANEL
- 23 RETAINING WALL. SEE CIVIL
- 24 6'-4" WIDE X 8'-10" HIGH KNOCK-OUT PANEL

**EXTERIOR FINISH SCHEDULE**

MARK	FINISH	MANUFACTURER / COLOR
F1	Concrete Wall Panels Elastomeric paint (texture)	Sherwin Williams / SW 7021 Simple White
F2	Concrete Wall Panels Elastomeric paint (texture)	Sherwin Williams / SW 7030 Anvay Gray
F3	Concrete Wall Panels Elastomeric paint (texture)	Sherwin Williams / SW 7504 Keystone Gray
F4	Coping/Gutters/Downspouts Factory Finish	to match pac clad bone white
F5	Horizontal Metal Wall Panels Factory Finish	ATAS International / Redwood (07)
F6	Vertical Metal Wall Panels Factory Finish	
F7	Metal Canopy Factory Finish	
F8	ALKYD ENAMEL PAINT	Sherwin Williams / SW

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**D1 WEST ELEVATION**  
SCALE: 1/16"=1'-0"

**C1 NORTH ELEVATION**  
SCALE: 1/16"=1'-0"

**B1 EAST ELEVATION**  
SCALE: 1/16"=1'-0"

**A1 SOUTH ELEVATION**  
SCALE: 1/16"=1'-0"



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NC Architecture Reg. 50709  
NC Engineering Lic. C-1108



PRELIMINARY

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**CCEP Building 3**  
Tenant Upfit  
Lot #10 Enterprise Drive  
Sanford, North Carolina

DATE	DESCRIPTION
02/25/2020	30% REVIEW
03/31/2020	90% REVIEW
04/17/2020	90% REVIEW

NO	DATE	DESCRIPTION

SHEET TITLE:

**BUILDING ELEVATION**

Date: April 17, 2020  
Drawn: AVE Check: MTM  
Job Number: 20-007  
Sheet:

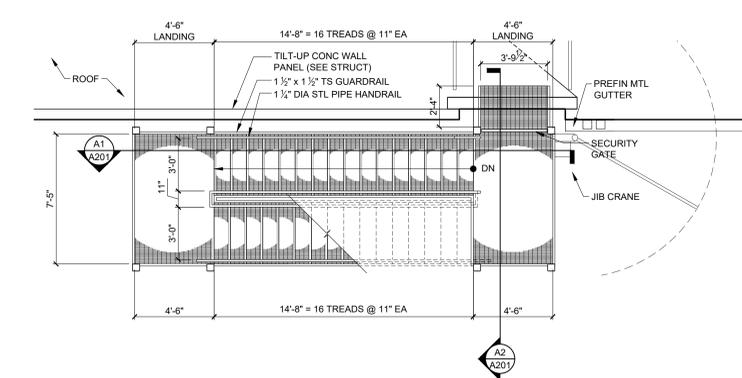
**A201**

**ELEVATION KEY NOTES**

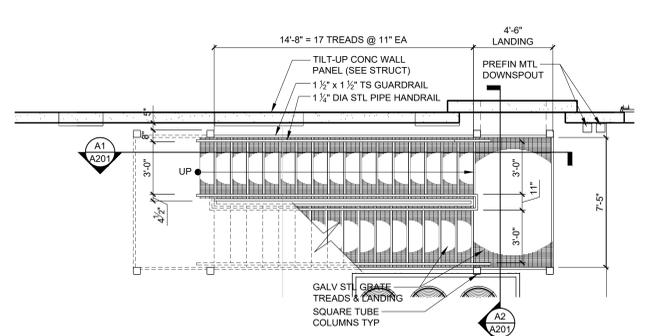
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**EXTERIOR FINISH SCHEDULE**

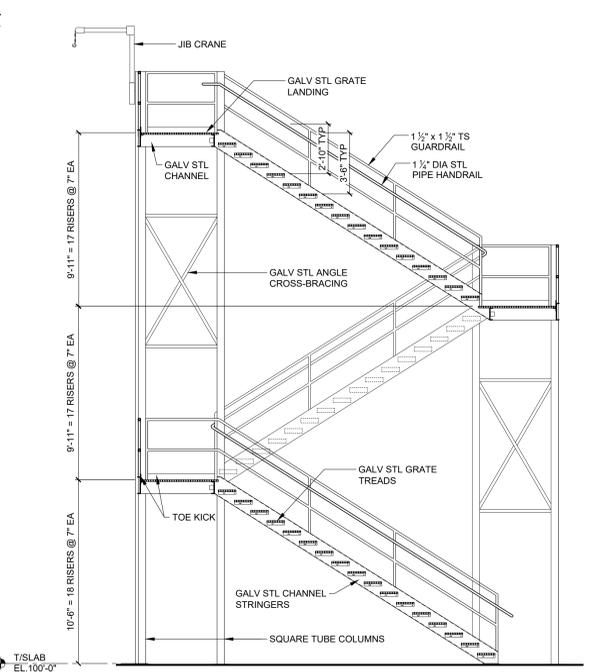
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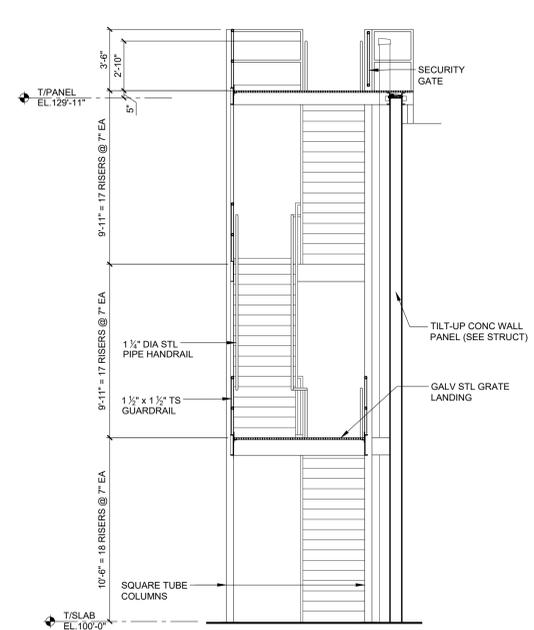
**D1 ENLARGED ROOF ACCESS STAIR PLAN (UPPER LEVEL)**  
SCALE: 1/4"=1'-0"



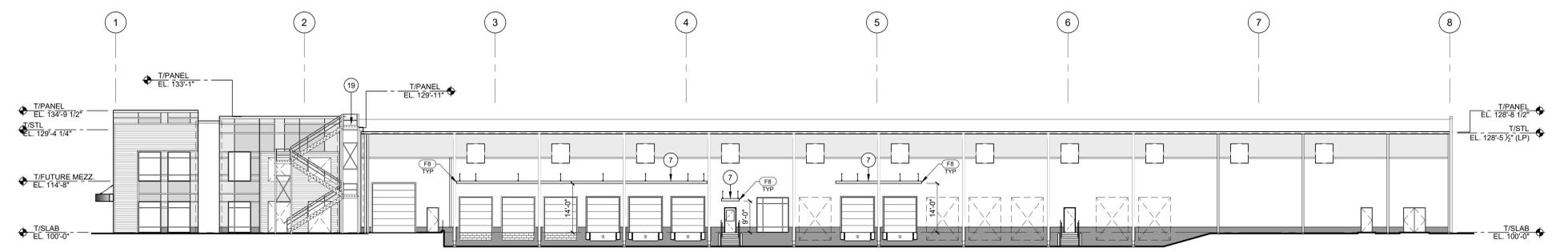
**C1 ENLARGED ROOF ACCESS STAIR PLAN (LOWER LEVEL)**  
SCALE: 1/4"=1'-0"



**C3 ROOF ACCESS STAIR SECTION**  
SCALE: 1/4"=1'-0"



**C4 ROOF ACCESS STAIR SECTION**  
SCALE: 1/4"=1'-0"



**A1 SOUTH ELEVATION**  
SCALE: 1/16"=1'-0"

4/16/2020 2:44 PM \\server\projects\2020\CCEP 2 - Tenant Upfit\20-007\Arch\2020\_20-007.dwg - 30 x 42 - 4/20/2020 2:44 PM