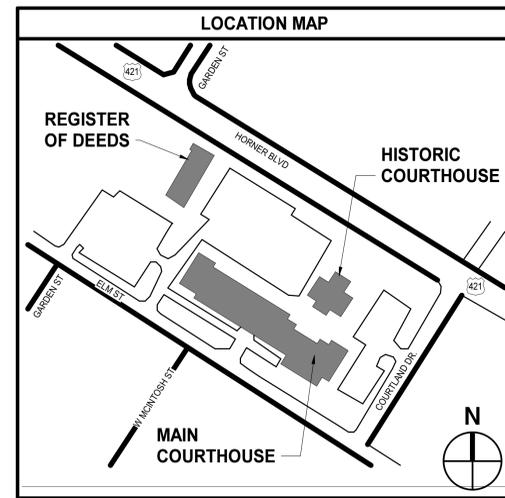
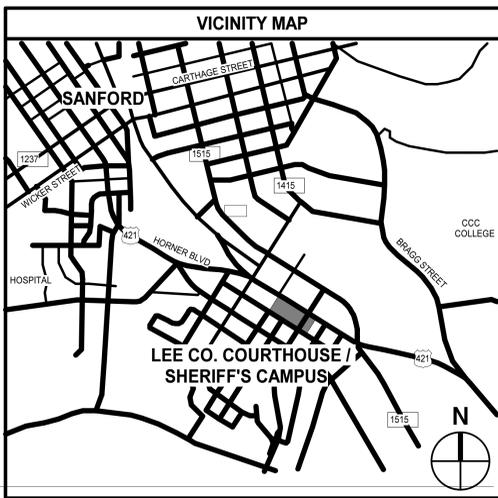


PROGRESS - REVIEW SET

LEE COUNTY

INTERIOR RENOVATIONS - COURTS / REGISTER OF DEEDS LEE COUNTY, N.C.



PROJECT # 592385

MOSELEYARCHITECTS

11430 NORTH COMMUNITY HOUSE ROAD GIBSON BUILDING SUITE 225 CHARLOTTE, NC 28277
PHONE (704) 540-3755 FAX (704) 540-3754
MOSELEYARCHITECTS.COM

J. THOMAS ENGINEERING, INC.

143 Charlotte Avenue, Suite 104

CIVIL ENGINEERING

SANFORD, NC 27330

DRAWING INDEX

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		FP0.1	LEGENDS, ABBREVIATIONS AND GENERAL NOTES		

THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.
IN CASE OF A CONFLICT, DISAGREEMENT, OR AMBIGUITY, PROVIDE THE BETTER QUALITY. IN CASE OF A CONFLICT, DISAGREEMENT, OR AMBIGUITY, PROVIDE THE GREATER QUANTITY OF WORK.

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LEE COUNTY
PROJECT # 592385
INTERIOR RENOVATIONS - COURTS / REGISTER OF DEEDS
LEE COUNTY, NC

PROJECT NO.	DATE
592385	MARCH 30, 2020
REVISIONS	
DATE	DESCRIPTION

COVER
SET NO.

11430 NORTH COMMUNITY HOUSE ROAD GIBSON BUILDING SUITE 225 CHARLOTTE, NC 28277
PHONE (704) 540-3755 FAX (704) 540-3754
MOSELEYARCHITECTS.COM

S. HORNER BLVD. HWY 421 / HWY 87 / HWY 42

VARIABLE R/W

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LEE COUNTY R.O.D.

PROJECT # 592385
INTERIOR RENOVATIONS
LEE COUNTY

DATE	DESCRIPTION
REVISIONS	

**EXISTING CONDITIONS
AND DEMOLITION**

C1

NOTES

1. THE PROPERTY IS CURRENTLY ZONED C-2.
2. PROPOSED LIMIT OF DISTURBANCE IS LESS THAN ONE ACRE. A NCEQ EROSION CONTROL PERMIT IS NOT REQUIRED FOR THE WORK DESCRIBED ON THESE PLANS. SEE SHEET C3, EROSION CONTROL PLAN, FOR MEASURES REQUIRED DURING CONSTRUCTION. SEE SHEET C7 FOR THE CONSTRUCTION SEQUENCE.
3. FIELD SURVEY CONDUCTED ON 1-8-2020. HORIZONTAL DATUM IS NAD 83/2011. VERTICAL DATUM IS NAVD 83. UNDERGROUND UTILITIES WERE NOT FIELD LOCATED.
4. BASED ON EVALUATION OF THE NRCS SOILS SURVEY / USGS TOPO MAP AND A SITE VISIT THERE ARE NO APPARENT JURISDICTIONAL WATERS PRESENT ON THE PROPERTY.
5. DEMOLITIONED ITEMS TO BE DISPOSED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
6. CONTRACTOR SHALL NOT REMOVE EXISTING VEGETATION / LANDSCAPING OUTSIDE THE LIMIT OF DISTURBANCE UNLESS APPROVED BY THE OWNER.
7. OWNER RESPONSIBLE FOR OBTAINING TEMPORARY CONSTRUCTION EASEMENT (OR AGREEMENT) FROM ADJACENT PROPERTY OWNER(S) FOR ANY WORK THAT MAY BE REQUIRED ON PRIVATE / PUBLIC PROPERTY(S).
8. THE OWNERS MUST OBTAIN APPROPRIATE APPROVALS FOR ANY OFF-SITE WORK, INCLUDING THE NCEQ FOR WORK IN THE R/W OF HORNER BLVD.
9. UNDERGROUND UTILITIES SHOWN ON THESE PLANS SHALL BE CONSIDERED APPROXIMATE. ADDITIONAL UTILITIES MAY BE PRESENT WITHIN THE WORK AREA. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO BEGINNING WORK.
10. CONTRACTOR TO REVIEW SITE ACCESS, MATERIAL STORAGE, AND STAGING AREAS WITH OWNER PRIOR TO BEGINNING WORK.
11. CONTRACTOR TO COORDINATE REMOVAL/RELOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS OR OTHERWISE MAY BE REQUIRED WITH THE APPROPRIATE UTILITY OWNER AND LEE COUNTY (PROJECT OWNER) PRIOR TO PERFORMING THIS WORK.
12. EXISTING MONUMENT SIGN TO BE REMOVED BY LEE COUNTY (PROJECT OWNER).
13. THE PROPOSED SITE AREA IS NOT LOCATED IN A DESIGNATED WATER SUPPLY WATERSHED.

LEGEND OF ABBREVIATIONS

BC	BACK OF CURB	LP	LIGHT POLE
CB	CATCH BASIN (STORM)	N/F	NOW OR FORMERLY
CO	CLEAN OUT	P.E.	PERMANENT EASEMENT
CP	CORRUGATED PLASTIC PIPE	PVC	POLYVINYL CHLORIDE PIPE
CMF	CORRUGATED METAL PIPE	PP	POWER POLE
C & G	CURB & GUTTER	RCP	REINFORCED CONCRETE PIPE
DI	DROP INLET (STORM)	R/R	RAILROAD CROSSING
DIP	DUCTILE IRON PIPE	R / W	RIGHT OF WAY
EG	EDGE OF GRAVEL	SS OR SAN	SANITARY SEWER
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE
EB	ELECTRICAL BOX	TBM	TEMPORARY BENCH MARK
ET	ELECTRICAL TRANSFORMER	TC	TOP OF CURB
EL	ELEVATION	T.C.E.	TEMPORARY CONSTRUCTION EASEMENT
ECM	EXISTING CONCRETE MONUMENT	TMH	TELECOMMUNICATION MANHOLE
EIP	EXISTING IRON PIN	TF	TRANSFORMER
EN	EXISTING MAIL	TP	TELEPHONE PEDESTAL
FO	FIBER OPTIC	TS	TOP OF SIDEWALK
FOM	FIBER OPTIC MARKER	TSP	TRAFFIC SIGNAL POLE
FOB	FIBER OPTIC BOX	TW	TOP OF WALL
FH	FIRE HYDRANT	UC	UNDERGROUND COMMUNICATIONS
GU	GUY WIRE	VB	VALVE BOX
HP	HIGH POINT	WM	WATER METER
INV	INVERT	WW	WATER VALVE
JB	JUNCTION BOX (STORM)	WCR	WHEELCHAIR RAMP
		YI	YARD INLET (STORM)

LEGEND OF SYMBOLS AND LINES

PROPERTY CORNER	○	RIGHT OF WAY	—
UTILITY POLE	○	PROPERTY LINE	—
LIGHT POLE	○	UTILITY EASEMENT	—
TELEPHONE PEDESTAL	○	CENTER LINE	—
GATE VALVE	○	SETBACK	—
WATER METER	○	BUFFER	—
FIRE HYDRANT	○	SIGHT TRIANGLE	—
SEWER MANHOLE	○	LIMIT OF DISTURBANCE	—
SEWER CLEANOUT	○	UNDERGROUND ELECTRIC LINE	—
CATCH BASIN	○	OVERHEAD ELECTRIC LINE	—
YARD INLET / DROP INLET	○	SANITARY SEWER (GRAVITY)	—
STORM JUNCTION BOX / MH	○	SANITARY SEWER (FORCEMAIN)	—
HANDICAP	○	STORM DRAIN PIPE	—
SPOT ELEVATION	○	WATER LINE	—
SIGN	○	GAS LINE	—
ALIGNMENT CHANGE	○	COMMUNICATIONS LINE	—
PVI	○	FIBER OPTIC LINE	—
DELTA	○	FENCE LINE	—
		TREE LINE	—
CONCRETE PAVEMENT / SIDEWALK	■	DRAINAGE FLOW	—
ASPHALT PAVEMENT	■	CURB AND GUTTER	—
GRAVEL SURFACE	■	CURB AND GUTTER (SPILL)	—

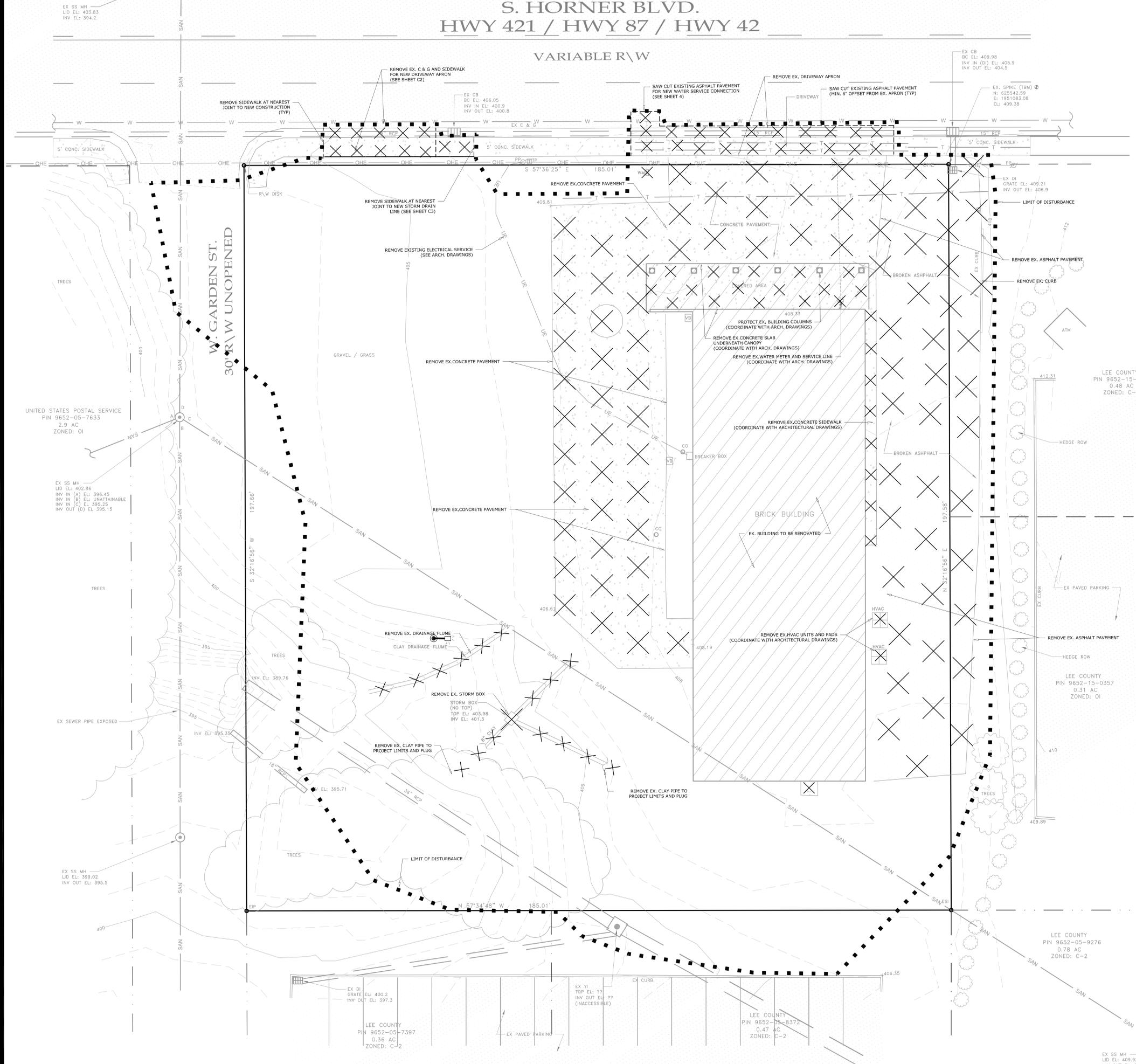
NOTE:
EXISTING FEATURES ARE SHOWN SHADED.



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143 Charlotte Avenue, Suite 104
Sanford, North Carolina 27330
(919) 777-6010 phone
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license no. C-3389

JTE PROJECT NO: 19-025



EX SS MH
LID EL: 409.92
INV. OUT EL: 399.5

LEE COUNTY
PIN 9652-05-9276
0.78 AC
ZONED: C-2

LEE COUNTY
PIN 9652-05-7397
0.36 AC
ZONED: C-2

LEE COUNTY
PIN 9652-15-0357
0.31 AC
ZONED: O1

LEE COUNTY
PIN 9652-15-1405
0.48 AC
ZONED: C-2

UNITED STATES POSTAL SERVICE
PIN 9652-05-7633
2.9 AC
ZONED: O1

EX SS MH
LID EL: 402.86
INV IN (A) EL: 396.45
INV IN (B) EL: UNATTAINABLE
INV IN (C) EL: 395.25
INV OUT (D) EL: 395.15

EX SS MH
LID EL: 399.02
INV. OUT EL: 395.5

EX Y1
TOP EL: ??
INV. OUT EL: ??
(INACCESSIBLE)

EX DI
GRATE EL: 400.2
INV. OUT EL: 397.3

W. GARDEN ST.
30' R/W UNOPENED

EX SS MH
LID EL: 403.83
INV. EL: 394.2

EX SS MH
LID EL: 402.86
INV IN (A) EL: 396.45
INV IN (B) EL: UNATTAINABLE
INV IN (C) EL: 395.25
INV OUT (D) EL: 395.15

EX SS MH
LID EL: 399.02
INV. OUT EL: 395.5

EX SS MH
LID EL: 399.02
INV. OUT EL: 395.5

LEE COUNTY
PIN 9652-05-7397
0.36 AC
ZONED: C-2

LEE COUNTY
PIN 9652-05-7397
0.36 AC
ZONED: C-2

LEE COUNTY
PIN 9652-05-8372
0.47 AC
ZONED: C-2

LEE COUNTY
PIN 9652-05-9276
0.78 AC
ZONED: C-2

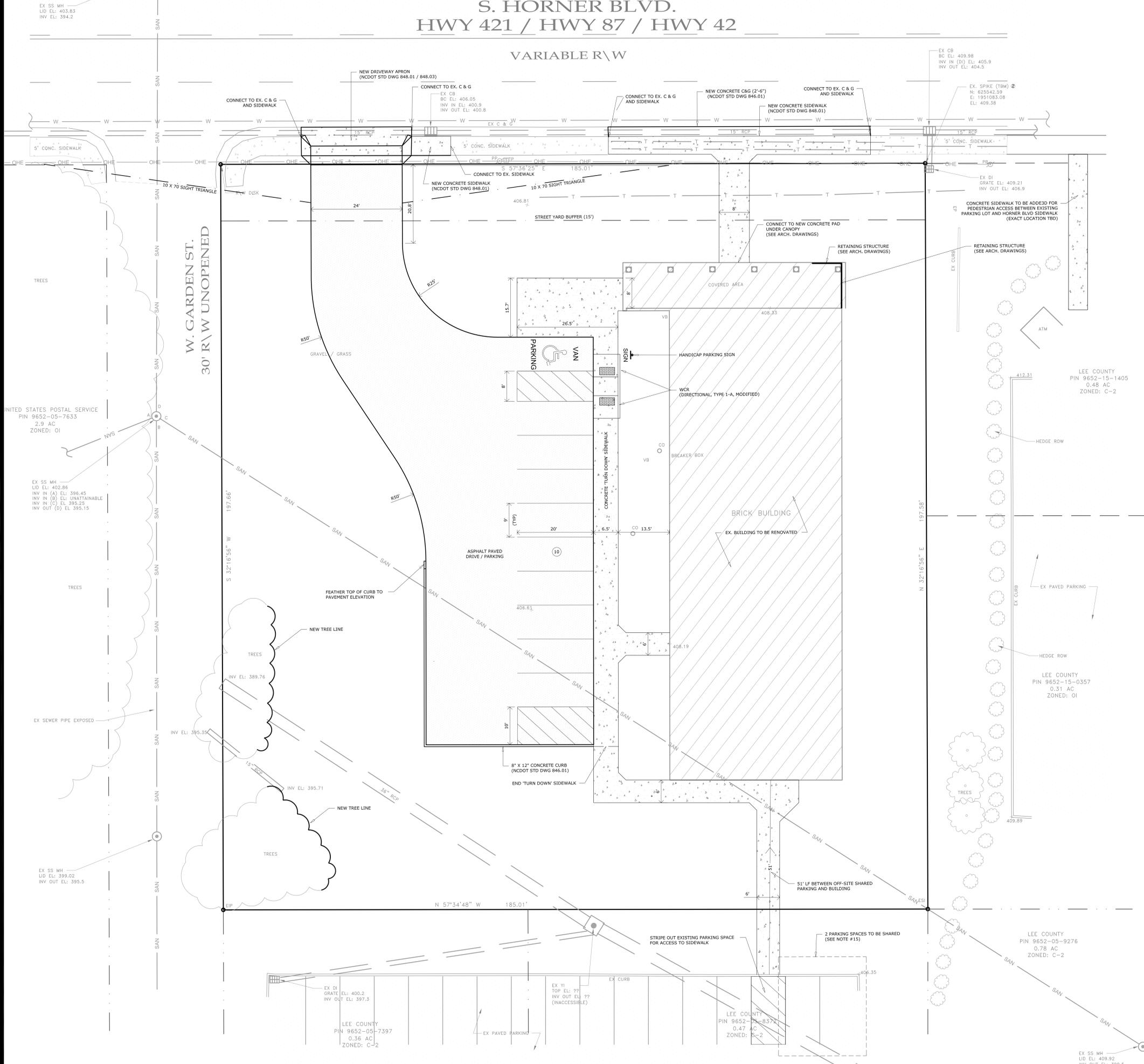
LEE COUNTY
PIN 9652-15-0357
0.31 AC
ZONED: O1

LEE COUNTY
PIN 9652-15-1405
0.48 AC
ZONED: C-2

JTE PROJECT NO: 19-025

S. HORNER BLVD.
HWY 421 / HWY 87 / HWY 42

VARIABLE R/W



NOTES

- REVIEW AND APPROVAL OF THE PLANS DOES NOT RELIEVE THE OWNER OR CONTRACTOR FROM MEETING ALL THE REQUIREMENTS OF THE CITY OF SANFORD DEVELOPMENT ORDINANCE, AND ANY OTHER LOCAL, STATE, AND FEDERAL REGULATIONS AND APPROVALS.
- ALL IMPROVEMENTS OR EXTENSIONS OF PUBLIC INFRASTRUCTURE UNDER THE JURISDICTION OF THE CITY OF SANFORD SHALL BE IN STRICT ACCORDANCE WITH THE ORDINANCES, REGULATIONS, POLICIES, REQUIREMENTS, AND SPECIFICATIONS OF THE CITY OF SANFORD.
- THE PROPOSED SITE AREA IS NOT LOCATED WITHIN THE 100 YEAR FLOOD HAZARD BOUNDARY AREAS AS DELINEATED ON THE LEE COUNTY FLOOD INSURANCE MAP (FIRM) MAP NUMBER: 37109652003 DATED 09/06/2006.
- OWNER HAS NOT IDENTIFIED JURISDICTIONAL WATERS ON THIS PROPERTY.
- THE PROPOSED SITE AREA IS NOT LOCATED IN A DESIGNATED WATER SUPPLY WATERSHED.
- CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THESE PLANS WITH ACTUAL FIELD CONDITIONS.
- ALL HANDICAP ACCESSIBLE AREAS ON THE SITE SHALL CONFORM TO THE REQUIREMENTS OF VOLUME 1-C OF THE NC STATE BUILDING CODE.
- DETAILED DESIGN OF ANY RETAINING WALLS SHOWN SHALL BE BY THE OWNER/CONTRACTOR. THE FINAL LAYOUT AND LENGTH MAY NEED TO BE ADJUSTED PER THE FINAL DESIGN AND ACTUAL FIELD CONDITIONS.
- CONTACT DUKE ENERGY PROGRESS WHEN WORKING WITHIN 15' OF THEIR POLES.
- OWNER IS RESPONSIBLE FOR SECURING NECESSARY EASEMENTS FOR WORKING OFF-SITE, INCLUDING ANY WORK WITHIN THE PUBLIC R/W.
- NEW MONUMENT SIGN DESIGN BY OTHERS. A SIGN PERMIT MUST BE OBTAINED FROM THE CITY OF SANFORD PLANNING DEPARTMENT PRIOR TO INSTALLATION.
- 10' X 70' SIGHT TRIANGLE SHOWN ON DRIVEWAY.
- EXISTING SIDEWALK ALONG HORNER BLVD WILL NEED TO BE CLOSED DURING CONSTRUCTION. CONTRACTOR TO INSTALL SIGNS AS REQUIRED BY NCDOT ENCROACHMENT AGREEMENT FOR THIS PROJECT.
- CONTRACTOR RESPONSIBLE FOR ADEQUATE TRAFFIC CONTROL MEASURES DURING CONSTRUCTION. CONTRACTOR MAY BE REQUIRED TO SUBMIT M.O.T. PLAN TO NCDOT PRIOR TO BEGINNING WORK. REFER TO THE NCDOT ENCROACHMENT AGREEMENT FOR THIS PROJECT.
- TWO PARKING SPACES WITHIN THE EXISTING PARKING LOT ON THE ADJACENT PROPERTY WILL BE SHARED WITH THIS PROPERTY. THE PROPERTIES ARE BOTH OWNED BY THE COUNTY OF LEE. A WRITTEN AGREEMENT FROM THE PROPERTY OWNER WILL BE SUBMITTED TO THE PLANNING DEPARTMENT AS REQUIRED BY ORDINANCE.
- PROPOSED TRASH DISPOSAL IS BY ROLL CARTS. NO DUMPSTER PROPOSED.
- ANTICIPATED PERMITS REQUIRED FOR THE SITE WORK AS PROPOSED:
-CITY OF SANFORD TRC
-NCDOT ENCROACHMENT AGREEMENT
-NCDOT DRIVEWAY PERMIT

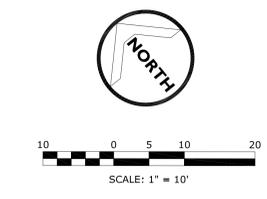
SITE DATA

OWNER:
COUNTY OF LEE
PO BOX 1968
SANFORD, NORTH CAROLINA 27331

PROPERTY ID:
LEE COUNTY, NORTH CAROLINA
DEED REFERENCE: 2010/114 (PLAT)
LEE COUNTY PIN NO.: 9652-05-9550
ADDRESS: 1300 SOUTH HORNER BLVD

SITE INFO:

JURISDICTION:	CITY OF SANFORD
TOWNSHIP:	EAST SANFORD
ZONING CLASSIFICATION:	C-2
PROPERTY ACREAGE:	0.85 AC
USE EXISTING:	VACANT BUILDING
USE PROPOSED:	OFFICE FOR LEE COUNTY REGISTER OF DEEDS
BUILDING GSF EXISTING:	7,216 SF +/- (5,238 SF 1ST FLOOR; 1,968 SF 2ND FLOOR)
BUILDING GSF NEW:	0 SF
BUILDING GSF PROPOSED (EX TO REMAIN + NEW):	7,216 SF +/- (5,022 SF 1ST FLOOR TO BE RENOVATED; 2ND FLOOR IS PROPOSED TO BE UNOCCUPIED)
PARKING SPACES REQUIRED:	12 (1 PER 600 SF)
PARKING SPACES EXISTING:	0 (ON-SITE)
PARKING SPACES NEW:	2 (SHARED WITH ADJACENT PARKING LOT)
PARKING SPACES PROPOSED (EX + NEW):	10 (INCLUDES 1 HANDICAP SPACE) (ON-SITE)
IMPERVIOUS AREA EXISTING:	12 (INCLUDES 1 HANDICAP SPACE)
IMPERVIOUS AREA NEW:	0.35 AC (41%)
IMPERVIOUS AREA PROPOSED (EX TO REMAIN + NEW):	0.36 AC (41%)
STREET YARD REQUIRED (FRONT):	8 FT
BUFFER YARD REQUIRED (SIDE):	NONE
BUFFER YARD REQUIRED (REAR):	NONE
SETBACK REQUIRED (FRONT):	EXISTING BUILDING
SETBACK REQUIRED (SIDE):	EXISTING BUILDING
SETBACK REQUIRED (REAR):	EXISTING BUILDING
WATER SUPPLY:	PUBLIC (CITY OF SANFORD)
SANITARY SEWER:	PUBLIC (CITY OF SANFORD)



MOSELEYARCHITECTS

3200 NORFOLK STREET, RICHMOND, VA 23230
PHONE (804) 794-7555 FAX (804) 355-5680
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LEE COUNTY R.O.D.
PROJECT # 592385
INTERIOR RENOVATIONS
LEE COUNTY

PROJECT NO:	DATE:
592385	MARCH 30, 2020
REVISIONS	DESCRIPTION

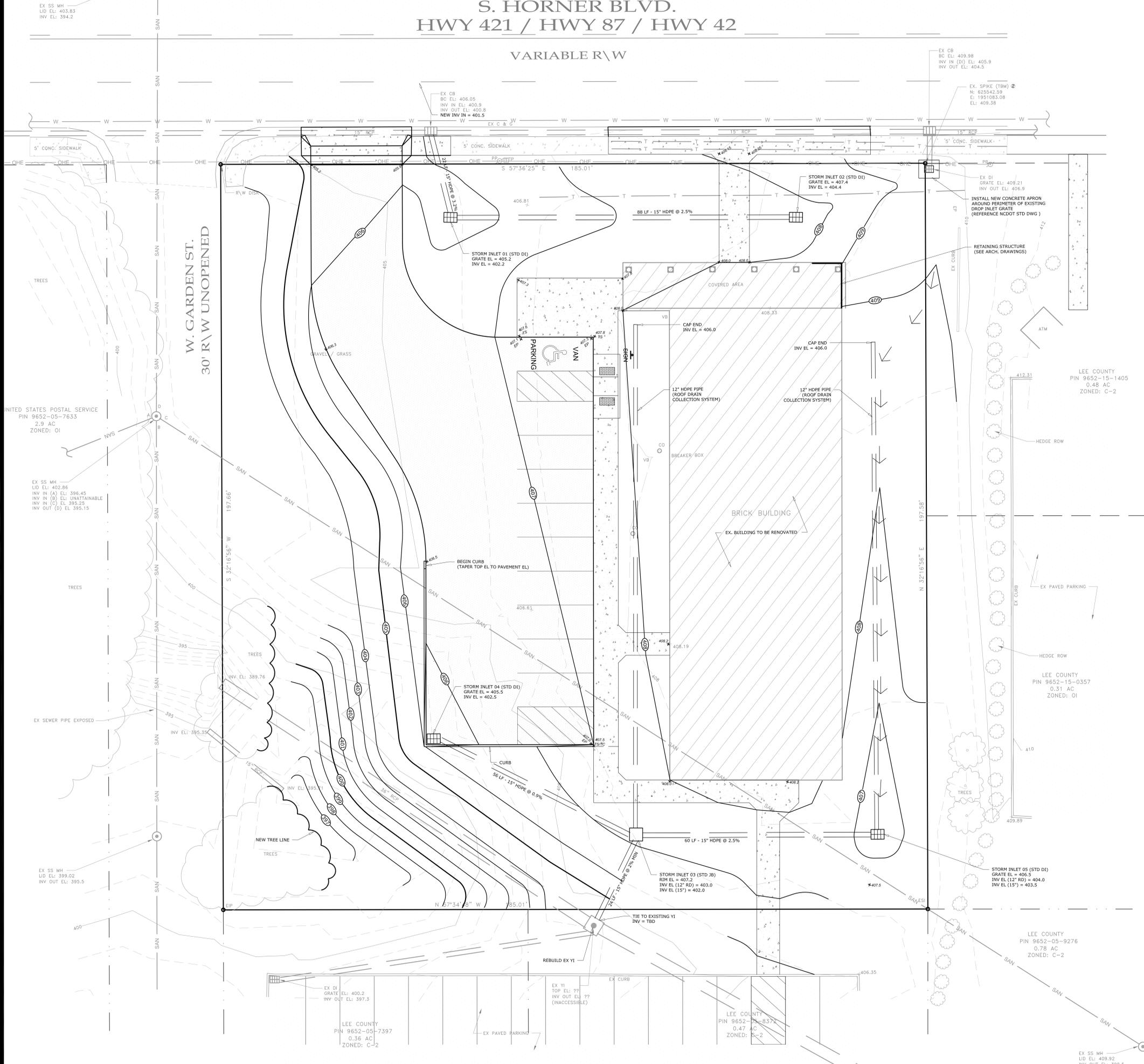
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HWY 421 / HWY 87 / HWY 42

VARIABLE R/W

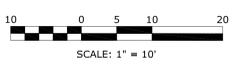


NOTES

- CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES WHILE WORKING. EXISTING UNDERGROUND UTILITIES SHOWN HERE SHALL BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY BE PRESENT. CONTRACTOR SHALL CALL "ONE CALL" MARKED BY 811 ONE CALL PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL KEEP WORK WITHIN THE LIMITS OF DISTURBANCE. THE LIMITS OF DISTURBANCE IS 0.30 AC. AN EROSION CONTROL PERMIT IS NOT REQUIRED, HOWEVER THE CONTRACTOR MUST INSTALL AND MAINTAIN EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE PROJECT. SEE SHEET CS FOR EROSION CONTROL PLAN.
- BORROW (FILL) MATERIAL IS EXPECTED FOR THIS PROJECT TO PROVIDE THE GRADES SHOWN ON THIS PLAN. BORROW / DISPOSAL SITES MUST COMPLY WITH NCDOT RULES FOR LAND DISTURBANCE.
- CONTRACTOR TO SECURE TEMPORARY CONSTRUCTION EASEMENT (OR AGREEMENT) FOR WORK ON ADJACENT PROPERTY(S) PRIOR TO ANY OFF-SITE WORK.
- CONTRACTOR TO COORDINATE WITH POWER COMPANY (DUKE ENERGY) PRIOR TO GRADING WITH THEIR EASEMENT OR WITHIN 15' OF THEIR POWER POLES AND EQUIPMENT.
- CONTRACTOR TO VERIFY FINAL ELEVATIONS WITH ACTUAL FIELD CONDITIONS.
- GRADING CONTRACTOR TO COORDINATE WITH THE BUILDING CONTRACTOR PRIOR TO DEMOLITION AND EXCAVATING AROUND THE FOUNDATION OF THE EXISTING FIREPLACE BUILDING.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING WALLS AT ALL TIMES DURING CONSTRUCTION.
- FINAL GRADE ON THE HANDICAP PARKING SPACES SHALL BE 2% MAX IN ANY DIRECTION.
- CONTRACTOR TO DIRECT ROOF LEADERS INTO ENCLOSED DRAIN SYSTEM USING HDPE UNDERGROUND PIPING. TIE THE BUILDING DOWNSPOUTS (ROOF LEADERS) TO PROPOSED HDPE COLLECTOR PIPE AS SHOWN ON THIS PLAN WITH APPROPRIATE HDPE FITTINGS. IF ANY DOWNSPOUTS ARE LOCATED ON THE FRONT COVERED AREA, TIE DIRECTLY INTO STORM INLET 02. ALL PIPING SHOULD HAVE 1% MIN. SLOPE. VERIFY EXACT LOCATIONS OF DOWNSPOUTS PER ARCHITECTURAL PLANS. COORDINATE LOCATION OF UNDERGROUND PIPING WITH ARCHITECTURAL DRAWINGS, CIVIL DRAWINGS, AND LANDSCAPE PLAN TO AVOID CONFLICTS WITH OTHER PROPOSED IMPROVEMENTS.
- ELEVATIONS BASED ON NAVD 88. PROPOSED AND EXISTING CONTOUR LINES ARE SHOWN AT 1' INCREMENTS.
- CONTRACTOR TO REFER TO THE REQUIREMENTS PROVIDED ON THE EROSION CONTROL PLAN (SHEET CS) AND CONSTRUCTION SEQUENCE (SHEET C7) PRIOR TO BEGINNING GRADING OPERATION.



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143 Charlotte Avenue, Suite 104
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LEE COUNTY R.O.D.
PROJECT # 592385
INTERIOR RENOVATIONS
LEE COUNTY

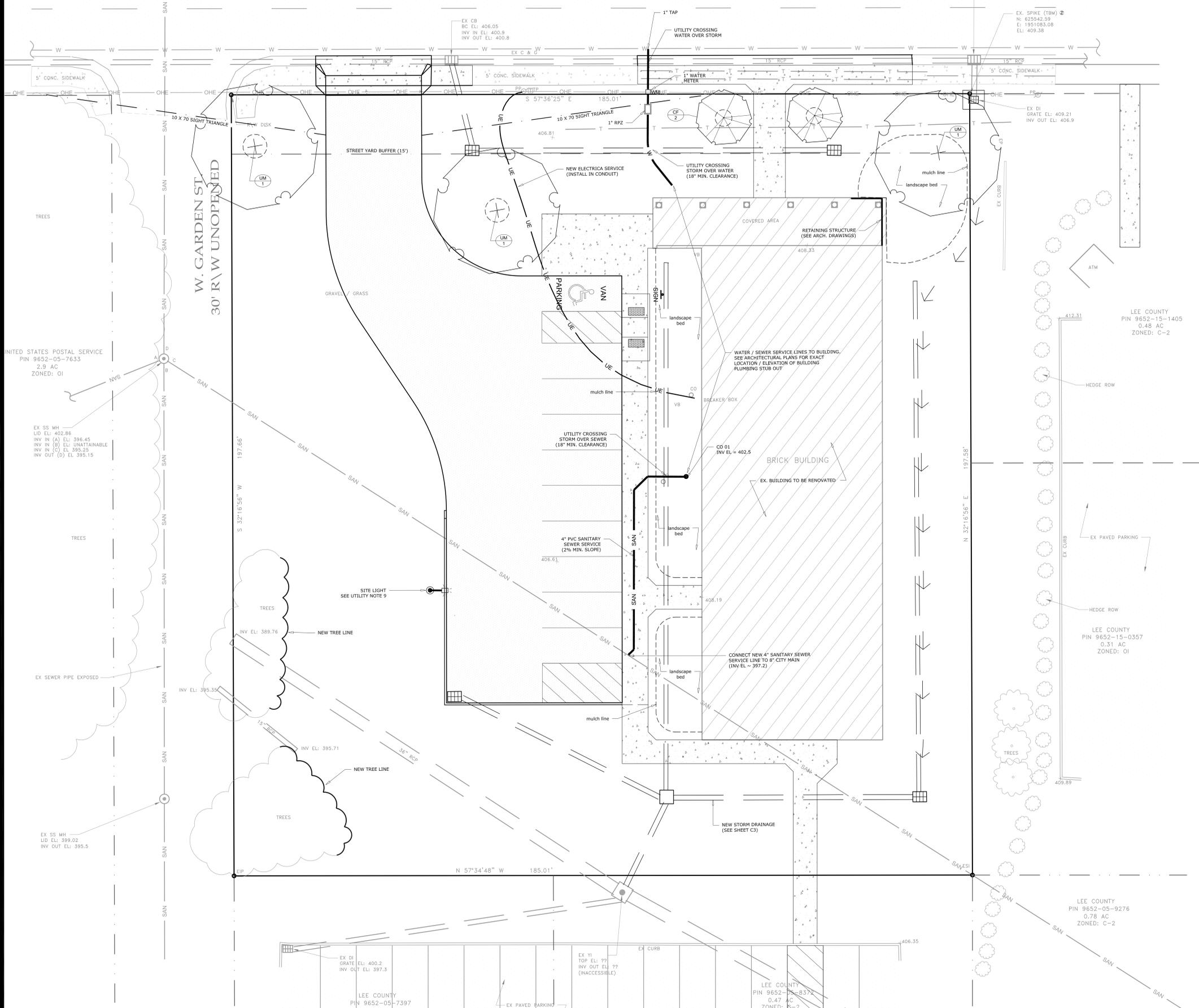
PROJECT NO:	DATE:
592385	MARCH 30, 2020
REVISIONS	DESCRIPTION

**GRADING AND STORM
DRAINAGE**

C3

S. HORNER BLVD.
HWY 421 / HWY 87 / HWY 42

VARIABLE R/W



UTILITY NOTES

- CONSTRUCTION OF UTILITY LINES MAY NOT BEGIN UNTIL ALL FEES ARE PAID, ALL PERMITS ARE PRESENT ON SITE, AND NOTIFICATION OF CONSTRUCTION IS MADE TO THE APPLICABLE PERMITTING AGENCIES IN ACCORDANCE WITH THEIR POLICIES.
- EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE - OTHER UNDERGROUND UTILITIES NOT SHOWN MAY BE PRESENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCURATELY LOCATE EXISTING UTILITIES WITHIN THE WORK AREA PRIOR TO START OF CONSTRUCTION. THE EXACT LOCATION AND SIZE OF THE EXISTING UTILITIES TO BE CONNECTED TO SHOULD BE VERIFIED PRIOR TO THE START OF CONSTRUCTION.
- WATER SERVICE SIZES SHALL BE CONSIDERED PRELIMINARY. FINAL SIZES FOR SERVICE LINES, METERS, AND BACKFLOW PREVENTION TO BE PROVIDED BY BUILDING PLUMBING ENGINEER.
- WATER AND SEWER SERVICE LINES ARE TO BE BURIED WITH A MINIMUM 3' COVER. THE SERVICE LINES SHALL BE EXTENDED TO WITHIN 5' OF BUILDING. COORDINATE SERVICE SIZE, LOCATIONS, AND DEPTHS WITH ARCHITECTURAL PLANS.
- MAINTAIN 10' HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SERVICES. WHERE NOT PRACTICAL, PROVIDE 18" VERTICAL SEPARATION.
- CONTRACTOR TO NOTIFY THE CITY OF SANFORD (UTILITY OWNER) PRIOR TO TAPPING THE EXISTING WATER MAIN AND SEWER MAIN. THE EXISTING PAVEMENT SHALL BE NEATLY SAW CUT TO EXCAVATE THE TRENCHES. ONCE THE LINES ARE INSTALLED, PATCH EXISTING PAVEMENT PER NCDOT PAVEMENT REPAIR STANDARD DRAWING 654.01.
- REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION TO BE INSTALLED ON THE DOMESTIC WATER SERVICE. THE RPZ SHALL BE ABOVE-GRADE AND HOUSED IN AN INSULATED ENCLOSURE.
- IRRIGATION SUPPLY SYSTEM DESIGN BY OTHERS, IF ANY.
- SITE LIGHTING DESIGN BY OTHERS. LIGHT LOCATION ON THIS PLAN SHALL BE CONSIDERED PRELIMINARY. THE SITE LIGHTING PLAN SHALL BE SUBMITTED TO CITY PLANNING DEPARTMENT AND TO LEE COUNTY (PROJECT OWNER) FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR TO COORDINATE INSTALLATION OF NEW UTILITY SERVICES FOR POWER, GAS, PHONE, CABLE, INTERNET WITH THE RESPECTIVE UTILITY OWNERS AND LEE COUNTY (PROJECT OWNER). SEE ARCHITECTURAL DRAWINGS FOR MORE INFORMATION.

LANDSCAPE REQUIREMENTS

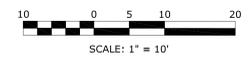
STREET YARD:
REQUIREMENT: 8' WIDE - 1 LARGE OR 2 SMALL TREES PER 50 L.F. FRONTAGE
PROVIDED: 15' WIDE - 2 LARGE TREES + 2 SMALL TREES (185 LF OF FRONTAGE)

LANDSCAPING NOTES

- THE LANDSCAPING SHOWN ON THIS SITE PLAN IS THE MINIMUM REQUIRED TO MEET THE CITY OF SANFORD REQUIREMENTS. ADDITIONAL LANDSCAPING MAY BE SPECIFIED BY THE OWNER. THE LANDSCAPE CONTRACTOR CAN MODIFY THE PLANT LIST, FROM WHAT IS SHOWN, HOWEVER THE CONTRACTOR MUST USE ACCEPTABLE PLANT TYPES, AND QUANTITIES, PER THE CITY OF SANFORD UNIFIED DEVELOPMENT ORDINANCE. A REVISED PLAN SHALL BE APPROVED BY THE CITY PLANNING DEPARTMENT AND BY THE OWNER.
- ALL PLANT MATERIALS TO COMPLY WITH THE LATEST EDITION OF A.N.A. STANDARDS FOR NURSERY STOCK AND BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM INSTALLATION DATE.
- LANDSCAPE CONTRACTOR IS TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND RECEIVE APPROVAL FROM GENERAL CONTRACTOR OR SITE SUPERVISOR, IF NECESSARY, TO MAKE CHANGES IN PLANT LOCATIONS.
- LANDSCAPE CONTRACTOR MUST COORDINATE WITH GENERAL CONTRACTOR AND OTHER SITE OPERATIONS.
- MINOR ADJUSTMENTS TO THE PLANT LOCATIONS ARE TO BE MADE IN THE CASE OF ANY CONFLICTS WITH PROPOSED UTILITIES.
- ALL PLANTING BEDS AND FREE STANDING TREES TO BE MULCHED WITH 4" GRADE "A" CYPRESS MULCH. BEDS ARE TO BE GRADED SMOOTH AND AND FREE OF SOIL CLODS AND STONES. ALL TREES TO BE STAKED AND WRAPPED WITH ASPHALTIC WRINKLE KRAFT TREE WRAP.
- ALL PLANTS ARE TO BE REMOVED FROM CONTAINERS, CAGES AND NON-BIODEGRADABLE MATERIALS.
- LAWN AREAS AND BEDS SHOULD BE FREE OF STONES GREATER THAN 2".
- PLANT QUANTITIES HAVE BEEN PROVIDED FOR CONVENIENCE ONLY; THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE QUANTITIES. DRAWING PREVAILS OVER WRITTEN QUANTITIES.
- PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE APPLIED AT PRODUCT SPECIFIED RATE UNLESS OTHERWISE NOTED.
- PLANTING SHALL BE FERTILIZED UPON INSTALLATION. RECOMMENDED FERTILIZER BE MIXED WITH BACKFILL AT PRODUCT SPECIFIED RATE.
- IRRIGATION PLAN BY OTHERS, IF APPLICABLE.

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY	PLANTING SIZE
UP	UMAS PARVIFOLIA	LACEBARK ELM	3	2" CAL. / 10-15' HT.
CF	CORNUS FLORIDA	FLOWERING DOGWOOD	2	1 1/2" CAL. / 6'-8' HT.



J THOMAS ENGINEERING, INC.
CIVIL ENGINEERING & PLANNING

143 Charlotte Avenue, Suite 104
Sanford, North Carolina 27330
(919) 777-6010 phone
www.jthomasengineering.com
license no. C-3389

JTE PROJECT NO: 19-025

MOSELEY ARCHITECTS
3200 NORFOLK STREET, RICHMOND, VA 23220
PHONE (804) 794-7555 FAX (804) 355-5690
MOSELEYARCHITECTS.COM

**PROGRESS
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LEE COUNTY R.O.D.
PROJECT # 592385
INTERIOR RENOVATIONS
LEE COUNTY

PROJECT NO: DATE: MARCH 30, 2020
592385

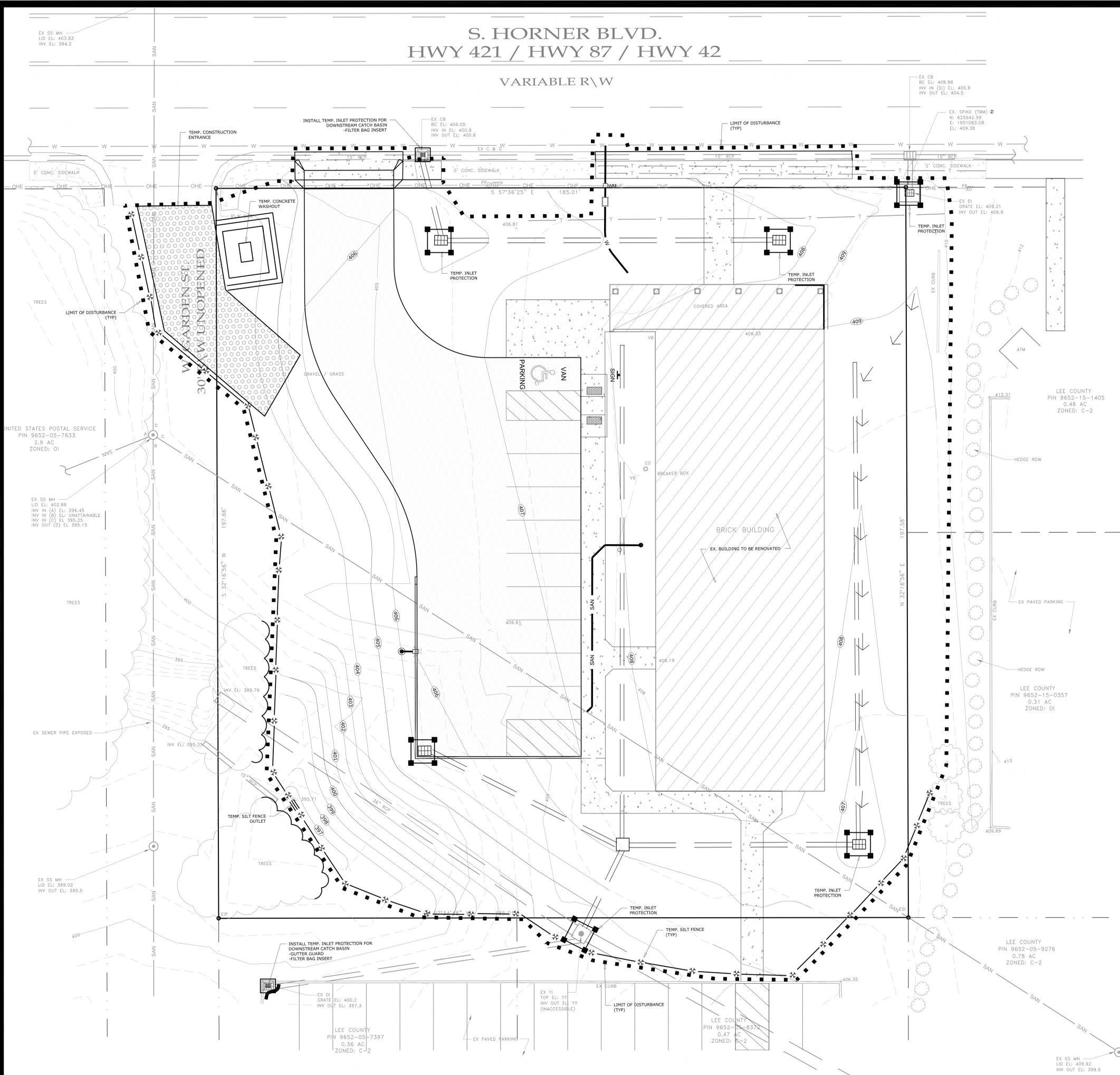
DATE	REVISIONS	DESCRIPTION

**UTILITY AND
LANDSCAPING**

C4

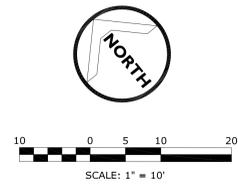
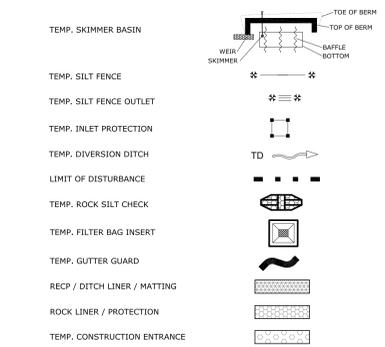
S. HORNER BLVD.
HWY 421 / HWY 87 / HWY 42

VARIABLE R/W



- NOTES**
1. THIS PLAN SHOWS THE EROSION CONTROL MEASURES FOR ONE PHASE OF CONSTRUCTION.
 2. LIMIT OF DISTURBANCE = 0.90 AC +/- . NCDEQ EROSION CONTROL PERMIT IS NOT REQUIRED.
 3. SEE SHEET C7 FOR THE CONSTRUCTION SEQUENCE, MAINTENANCE PLAN, SEEDING SPECIFICATIONS, AND DETAILS.
 4. OFF-SITE BORROW / WASTE SITES MUST COMPLY WITH NCDEQ RULES AND REGULATIONS FOR LAND DISTURBANCE.
 5. CONTRACTOR MAY NEED TO FIELD ADJUST PROPOSED EROSION CONTROL MEASURES TO FIT ACTUAL FIELD CONDITIONS.
 6. CONTRACTOR TO KEEP ALL CONSTRUCTION/STORAGE OPERATIONS WITHIN LIMIT OF DISTURBANCE. ANY DISTURBANCE OUTSIDE THE LIMIT OF DISTURBANCE WILL REQUIRE A MODIFICATION TO THE NCDEQ EROSION CONTROL PERMIT.
 7. CUT/FILL SLOPES SHALL BE 3:1 MAXIMUM.
 8. THIS PROPERTY IS LOCATED IN THE CAPE FEAR RIVER BASIN. SITE DRAINS TO LITTLE BUFFALO CREEK, A CLASS "C" WATERS, STREAM INDEX 17-42.
 9. THE SOIL TYPE (ACCORDING TO THE NRCS MAP) ON THE SITE IS M+B (MYODAN URBAN LAND COMPLEX, HYDROLOGIC GROUP "B").

LEGEND OF EROSION CONTROL MEASURES



MOSELEY ARCHITECTS
3200 NORFOLK STREET, RICHMOND, VA 23230
PHONE (804) 794-7555 FAX (804) 355-5680
MOSELEYARCHITECTS.COM

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EROSION CONTROL

C5

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 LEE COUNTY

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**BUILDING
 ELEVATIONS**

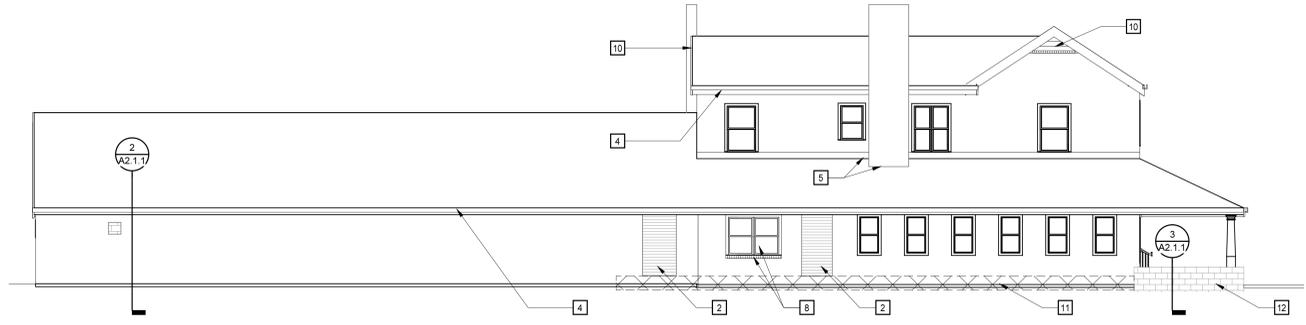
A4.1

GENERAL NOTES

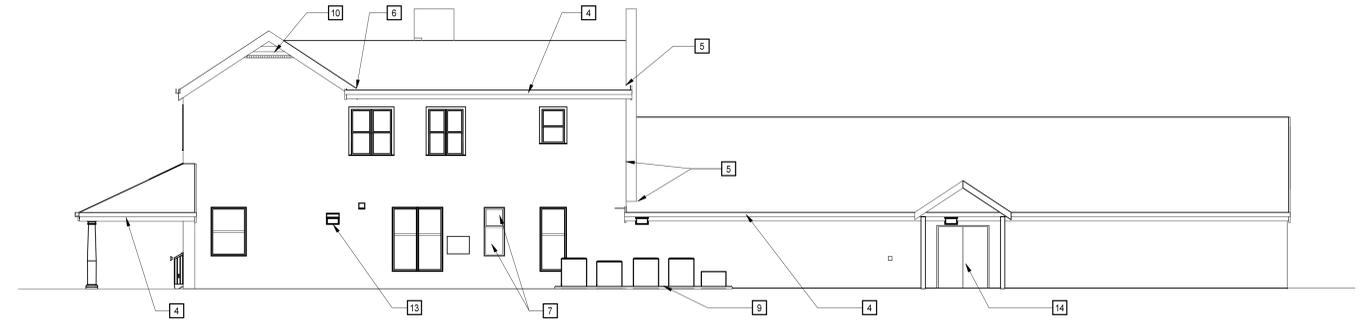
A. ELEVATIONS SHOWN ARE OF AN EXISTING BUILDING WITH MINOR EXTERIOR IMPROVEMENTS.
 B. REFER TO CIVIL ENGINEERING SHEETS FOR SITE PLAN AND SITE DETAILS.

BUILDING ELEVATION KEYNOTES
 REPRESENTED BY []
 APPLIES TO DRAWINGS A4.1 - A4.n

- ENTRY GLAZING SYSTEM
- MASONRY INFILL; MATCH EXISTING BRICK
- METAL PANEL AT LOWER LEVEL OF GLAZING SYSTEM
- REPLACE GUTTERS AND DOWNSPOUTS, TYP U.N.O.
- REPLACE FLASHING WHERE DAMAGED, TYP U.N.O.
- REPAIR / REPLACE ROOF ASSEMBLY AND SHEATHING WHERE DAMAGED AND LEAKING
- WINDOW FRAME SYSTEM WITH MECH. LOUVER AND METAL PANEL INFILL
- WINDOW ASSEMBLY AND BRICK SILL INFILL; MATCH EXISTING BRICK
- MECHANICAL PAD AND EQUIPMENT
- REPAIR / REPLACE ROOF EAVE VENT ASSEMBLY
- AREA OF WALL WATERPROOFING AND PORTION OF SITE GRADING; REFER TO CIVIL DRAWINGS
- MASONRY SITE RETAINING WALL; REFER TO CIVIL DRAWINGS
- WALL-MOUNTED LIGHTING; REFER TO ELECTRICAL DRAWINGS
- STAFF ENTRY



3 EAST ELEVATION - REGISTER OF DEEDS
 A4.1 1/8" = 1'-0"



2 WEST ELEVATION - REGISTER OF DEEDS
 A1.1.1, A4.1 1/8" = 1'-0"



1 NORTH ELEVATION - MAIN PUBLIC ENTRY - REGISTER OF DEEDS
 A4.1 1/8" = 1'-0"